

# HARTSVILLE/TROUSDALE COUNTY PLANNING COMMISSION

*John Kerr – Chair  
David Thomas – Vice Chair  
Amanda Carman – Sec*

*Heather Bay  
Katie Dillion  
Mitch Gregory*

*Author "AB" Harper  
David Nollner  
Cal Welch*

DECEMBER 8, 2025 | 7:00PM | TC COURTHOUSE

## AGENDA

### CALL TO ORDER

### ROLL CALL

### APPROVAL OF MINUTES

Regular meeting November 10, 2025

### APPROVAL/CHANGES TO THE AGENDA

### PUBLIC HEARING

### NEW BUSINESS

#### SITE PLAN

- SITE PLAN request at 103 White Oak St. on 0.88 acres by Tapan V Patel (Map 019 Group B Parcel 017.00) For the new site location of the White Oak Street Liquor Store in the 7th Civil District.
- SITE PLAN request at 617 E Main St. on 0.65 acres by Robert Powers (Map 027-D Group C Parcel A-3.00). For the construction of 7 townhomes in the 7th Civil District.
- SITE PLAN request at 613 E Main St. on 0.60 acres by Robert Powers (Map 027-D Group C Parcel A-5.00). For the construction of 7 townhomes in the 7th Civil District.

### DISCUSSION

- **REPORT FROM CHAIRMAN**
- **REPORT FROM BUILDING OFFICIAL**
  - **Blasting Information**
  - **2026 Planning Commission Schedule**
  - **Statement of Interest Due January 2026**

### CLOSING REMARKS

### ADJOURN

**HARTSVILLE/TROUSDALE COUNTY GOVERNMENT  
PLANNING COMMISSION  
MINUTES**

**The Hartsville/Trousdale County Planning Commission met in regular session on Nov 10th at 7:00 pm, in the Trousdale County Courthouse.**

**CALL TO ORDER: 7:02 PM**

**ROLL CALL:**

**Present:** John Kerr, David Thomas, AB Harper, David Nollner, Cal Welch, Heather Bay, Mitch Gregory, Rosalie Myhan

**Absent:** Amanda Carman, Katie Dillon, Amanda Harrington

**Public:** Vivian Stafford, Taylor Todd, Jim Carman, Alison Turner, Amber Reyes

**APPROVAL OF MINUTES**

Regular Oct 13<sup>th</sup> Planning Commission Meeting

<b>MOTION TO APPROVE: Cal Welch, 2<sup>nd</sup> Heather Bay</b>	<b>MOTION PASSED</b>
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**CHANGES TO THE AGENDA- none**

**REZONE**

- **Rezone Request for 2745 Old Hwy 25 From A1-R1 by Vivian Stafford on 3.01 Acres (Map 028 Parcel 032.04) to subdivide into 2 parcels in the 6th Civil District.**

Mrs. Vivian Stafford was present to explain the purpose of her rezoning request. She stated that she intends to sell 1 acre of her property to Mr. Todd so that it can be combined with his existing farm. After the sale, her remaining acreage would be reduced to 2 acres, which no longer meets the minimum requirements for the A1 zoning classification. Therefore, she is requesting that the property be rezoned to R1 to allow the subdivision of property.

**SITE PLAN REVIEW**

- **Site Plan request at 515 Hwy 25 on 5 Acres by Ronak Patel (Map 029 parcel 004.01) add an addition to the Breakpoint Gas Station of 1,129 square feet in the 6th Civil District.**

Mrs. Alison Turner attended to present details regarding the proposed addition. A 20-foot addition is planned on the north side of the building. The new addition will be 28 feet away from the closest fuel pump. The requirements for any construction to fuel storage are 25 feet. She also noted that there will be more than enough parking the required is 23, there will be 25 spaces available for parking.

<b>MOTION TO APPROVE SITE PLAN: David Thomas 2<sup>nd</sup> Mitch Gregory</b>
<b>7 Yes 0 No MOTION PASSED</b>

**FINAL PLAT**

- **Dennis Goke has Requested for a Major Subdivision on Morrison Street of 5.75 +- Acres (Map 027, Parcel 3.12) of 6 lots.**

Jim Carman represented Mr. Goke in talking about the Final Plat that has been brought back before the Planning Commission. The layout includes designated fire hydrant locations and a stormwater detention pond situated at the lower end of the lots. Concerns were raised regarding whether both existing and upgraded pumps could provide adequate fire flow.

Although two hydrants are located near the site, available flow does not meet the 500 gpm referenced for fire protection standards.

**MOTION TO APPROVE FINAL PLAT: David Thomas 2<sup>nd</sup> Amanda Carman  
4Yes 3 No – David Nollner, AB Harper, Heather Bay                      MOTION PASSED**

**CLOSING REMARKS**

- Myhan spoke about the Plans to update the building codes from ICC 2018 to ICC 2024.
- Training hour credits were distributed to all members. Members should review their hours, report discrepancies, and request any additional training they need to Amber Reyes.

**ADJOURN**

**MOTION TO ADJOURN: David Nollner 2<sup>nd</sup> David Thomas                      MOTION PASSED**



# Planning/BZA Permit Application

Date: 11/21/2025  
Permit #: 25374

## Applicant / Owner

Applicant Name: Stephen Lancaster  
Address: [REDACTED]  
City, State, Zip: [REDACTED]  
Phone: [REDACTED]  
Email: [REDACTED]  
Type:

Owner Name: Tapan V Patel  
Address: [REDACTED]  
City, State, Zip: [REDACTED]  
Phone: [REDACTED]  
Email: [REDACTED]

## Project

Permit Type: Zoning - Planning / BZA  
Status: Pending  
Location:  
Tax Map #: 019k  
Group: B  
Parcel: 17.00 and 18.00  
Record/Deed: r.b. 166 pg.420

Subdivision:  
Phase:  
Lot #:  
Request Type: Site Plan  
Water Source: Hartsville / Trousdale Water Dept.  
Sewer / Septic: Sewer  
Zoning District: C1

Project Description: Site Plan Liquor Store

I do hereby certify that the information contained herein is true and correct.

[REDACTED]

Stephen Lancaster

11/21/2025

Date

# TAPAN V PATEL WHITE OAK STREET LIQUOR STORE

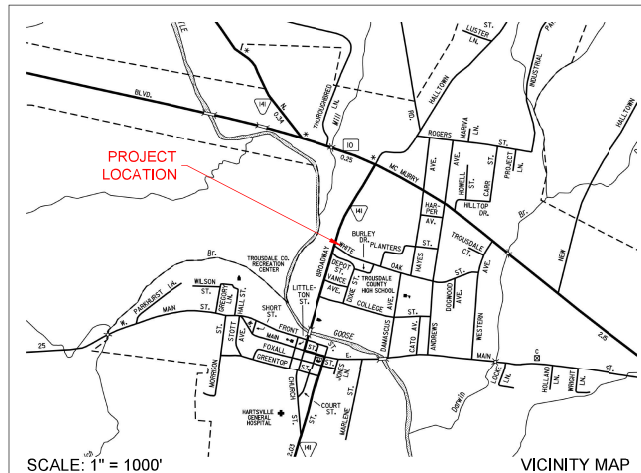
HARTSVILLE, TENNESSEE

TAX MAP 019K, GROUP B, PARCEL 017.00 & 018.00  
BROADWAY/ WHITE OAK STREET

## INDEX OF DRAWINGS

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## SITE DATA

OWNER / APPLICANT: PATEL TAPAN V  
5340 BUDDING COURT  
MARIETTA GA 30068

ZONING:	C-1
AREA OF TRACT:	0.88± AC.
TAX MAP ID:	019K
PROPOSED USE OF STRUCTURES:	LIQUOR STORE/ OFFICE SPACE
LAND DISTURBANCE:	0.80± AC.
WATER:	PUBLIC, HTWSUD
WASTE:	PUBLIC, HTWSUD
EXISTING BUILDING GROSS:	1,470 S.F.
PROPOSED BUILDING GROSS:	5,950 S.F.
EXISTING IMPERVIOUS SURFACE AREA:	10,409 S.F.
PROPOSED IMPERVIOUS SURFACE AREA:	25,232 S.F.
△ MAXIMUM BUILDING HEIGHT =	15'
△ PROPOSED BUILDING HEIGHT =	15'

\*SITE PLAN APPROVAL WILL CEASE TO BE EFFECTIVE AFTER 1 YEAR AFTER DATE OF APPROVAL IF A BUILDING PERMIT HAS NOT BEEN ISSUED OR UNLESS THE SITE IS RE-APPROVED.



**MID - TENN  
ENGINEERING CO.**  
648 HWY. 52 BYPASS WEST  
LAFAYETTE, TN (615) 666-2385

NO.	DATE	DESCRIPTION	BY	CHKD.
1	11-21-25	REVISIONS		

**MID - TENN  
ENGINEERING CO.**  
LAFAYETTE, TN (615) 666-2385

TAPAN V PATEL  
WHITE OAK STREET  
LIQUOR STORE  
HARTSVILLE, TENNESSEE

COVER SHEET



DATE	11-21-25
BY	TAPAN V PATEL
SCALE	AS NOTED
SHEET	T1

**GENERAL NOTES**

- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS, REFERENCED DOCUMENTS, AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- THESE PLANS ARE BASED ON INFORMATION PROVIDED TO OUR OFFICE AT THE TIME OF PLAN PREPARATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY OUR OFFICE IF ACTUAL SITE CONDITIONS DIFFER FROM THAT SHOWN ON THE PLAN, OR IF THE PROPOSED WORK WOULD BE INHIBITED BY ANY OTHER SITE FEATURES.
- ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OF GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL / BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY / EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY LOCATIONS AND SITE LIGHTING ELECTRICAL DESIGN AND LAYOUT.
- LOCATIONS OF PROPERTY LINES & UNDERGROUND UTILITIES POSSIBLY INCOMPLETE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATION & ELEVATION OF ALL EXISTING UNDERGROUND UTILITIES BEFORE MAKING TIES TO THEM.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL TOWN, COUNTY, STATE AND FEDERAL LAWS AND APPLICABLE CODES. CONTRACTOR SHALL PROPERLY REMOVE AND DISPOSE OF HAZARDOUS / UNSUITABLE MATERIAL OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE CODES AND LAWS.
- THE CONTRACTOR SHALL OBTAIN & POST ALL NECESSARY PERMITS.
- THE CONTRACTOR SHALL PROVIDE SAFETY MEASURES THROUGHOUT THE FULL TERM OF THE PROJECT. IN STRICT ACCORDANCE WITH THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS AS PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.
- A COPY OF THE APPROVED PROJECT PLANS SHALL REMAIN WITH THE CONTRACTOR ON SITE AT ALL TIMES DURING THE PROJECT.
- THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS / MEANS FOR COMPLETION OF THE WORK DEPICTED ON THESE PLANS. ANY CONFLICTS / SCOPE DEVIATIONS WHICH RESULT FROM SAME, CONTRACTOR RESPONSIBLE. FOR DETERMINING METHOD / MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND NOTIFICATION OF OWNER AND ENGINEER OF RECORD WHEN A CONFLICT IS IDENTIFIED.
- NEITHER THE PROFESSIONAL ACTIVITIES OF MID-TENN ENGINEERING COMPANY NOR THE PRESENCE OF MID-TENN ENGINEERING COMPANY OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION SITE SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THESE PLANS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. MID-TENN ENGINEERING COMPANY AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. MID-TENN ENGINEERING COMPANY SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE MADE ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.

**GRADING GENERAL NOTES**

- CONTOURS SHOWN ARE FOR FINISHED PAVING, SIDEWALK, SLAB, OR GROUND. ADJUSTMENT TO SUBGRADE IS THE CONTRACTOR'S RESPONSIBILITY.
- PROOF ROLL THE SITE WITH A TANDEM AXLE LOADED DUMP TRUCK IN TWO DIRECTIONS. ANY AREAS WHICH ARE NOTED TO RUT OR PUMP EXCESSIVELY SHALL BE UNDERCUT AND BACKFILLED WITH COMPACTED ENGINEERED FILL ACCORDING TO THE COMPACTION REQUIREMENTS BELOW.
- IF DURING THE OVERLAP GRADING PROCESS, CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE AN UNIDENTIFIED SOILS SITUATION IS PRESENT, THE GEOTECHNICAL ENGINEER AND OWNER'S CIVIL ENGINEER CONSULTANT (MID-TENN ENGINEERING COMPANY) SHALL BE CONTACTED FOR RECOMMENDATIONS.
- UNLESS OTHERWISE SHOWN, NO PROPOSED SLOPE SHALL EXCEED TWO (2) HORIZONTAL TO ONE (1) VERTICAL. ALL SLOPED AREAS MUST BE PROTECTED FROM EROSION.
- SPOT ELEVATIONS SHALL TAKE PRECEDENCE OVER CONTOURS AND SLOPES SHOWN. THE CONTRACTOR SHALL NOTIFY THE OWNERS ENGINEER OF SPOT ELEVATIONS THAT DO NOT APPEAR TO BE CONSISTENT WITH THE CONTOURS AND SLOPES. SPOT ELEVATIONS AND SPECIFIC PROFILE DESIGN SHALL BE USED FOR SETTING ELEVATIONS OF CURB, GUTTER, AND UTILITIES.
- CONTRACTOR SHALL USE BENCHMARKS AND DATUMS SHOWN HEREON TO SET PROJECT BENCHMARK(S), BY RUNNING A LEVEL LOOP BETWEEN AT LEAST TWO BENCHMARKS, AND SHALL PROVIDE SURVEY NOTES OF SUCH TO PROJECT ENGINEER PRIOR TO COMMENCING CONSTRUCTION.
- ALL UTILITIES (MANHOLES, VALVE COVERS, CLEANOUTS, VAULTS, BOXES, ETC.) SHALL BE ADJUSTED TO FINAL GRADE PRIOR TO FINAL LIFT OF ASPHALT.
- SPOT ELEVATIONS REPRESENT FLOW LINE OR TOP OF ASPHALT UNLESS OTHERWISE NOTED.
- EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- EXISTING GRADE CONTOUR INTERVALS SHOWN AT ONE (2) FOOT INTERVALS.
- PROPOSED GRADE CONTOUR INTERVALS SHOWN AT ONE (2) FOOT INTERVALS.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
- ALL SITE CONCRETE TO HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 3000 PSI.
- PAVEMENT OPERATION TO COMMENCE AS SOON AS POSSIBLE AFTER COMPLETION OF FINAL GRADING.

**ADA GENERAL NOTES**

- ALL HANDICAP PARKING STALLS SHALL BE PAINTED AND SIGNED IN STRICT ACCORDANCE WITH CURRENT ADA STANDARDS AND LOCAL REGULATIONS.
- ALL HANDICAP RAMPS AND ACCESSIBLE RAMPS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH CURRENT ADA STANDARDS AND LOCAL REGULATIONS.
- THE FOLLOWING CRITERIA SHALL APPLY TO ALL CONSTRUCTION WITHIN THE LIMITS OF THIS PROJECT.
  - THE MAXIMUM CROSS SLOPE OF ANY SIDEWALK, PEDESTRIAN ACCESS OR STORE FRONT SHALL NOT EXCEED 2%. THE SLOPE SHALL BE MEASURED PERPENDICULAR TO THE DIRECTION OF TRAVEL.
  - THE GRADES WITHIN HANDICAP PARKING STALLS SHALL NOT EXCEED 2% MEASURED IN ANY DIRECTION. HANDICAP PARKING STALLS SHALL HAVE AN ACCESSIBLE ROUTE, AS NOTED BELOW, TO THE BUILDING ENTRY AS SHOWN ON THE PLANS.
  - ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5%. ACCESSIBLE ROUTES EXCEEDING 5% SHALL BE CONSTRUCTED WITH RAMPS AND HANDRAILS HAVING A MAXIMUM SLOPE OF 8.33% FOR A MAXIMUM RISE OF THIRTY (30) INCHES. A 5-FOOT BY 5-FOOT LANDING PAD WITH MAXIMUM SLOPE OF 2% IN ANY DIRECTION SHALL BE CONSTRUCTED AT THE BOTTOM AND TOP OF ALL RAMPS.
- ALL SITE DIRECTIONAL SIGNS SHALL HAVE A MINIMUM CLEAR DISTANCE OF SEVEN (7) FEET AS MEASURED FROM THE GROUND TO THE BOTTOM OF THE LOWEST SIGN.
- ALL ACCESSIBLE ROUTES THAT CROSS A VEHICULAR DRIVE SHALL CONTAIN DETECTIBLE WARNING IN STRICT ACCORDANCE WITH CURRENT ADA STANDARDS AND LOCAL REGULATIONS WHETHER OR NOT A RAMPS IS NEEDED.
- THE MAXIMUM VERTICAL GRADE DIFFERENTIAL BETWEEN SURFACES ALONG AN ACCESSIBLE ROUTE SHALL BE A MAXIMUM OF 1/4 INCH.
- THE CONTRACTOR SHALL HAVE ALL CONCRETE FORMS THAT ARE PART OF ANY DESIGNATED ACCESSIBLE ROUTE, STORE FRONT, HANDICAP PARKING SPACE OR RAMP CHECKED BY OWNERS ENGINEER OF RECORD TO VERIFY GRADES AND CROSS SLOPES PRIOR TO PLACEMENT OF ANY CONCRETE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL COSTS AND DAMAGES FOR IMPROVEMENTS INSTALLED OR OTHERWISE IMPACTED BY WORK NOT APPROVED BY THE OWNERS ENGINEER.

**UTILITY GENERAL NOTES**

- ALL INSTALLATION AND MATERIALS SHALL, AT A MINIMUM, CONFORM TO HARTSVILLE/TROUSDALE WATER SEWER UTILITY DISTRICT STANDARDS, SPECIFICATIONS, PLANS, AND DETAILS.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- ALL NECESSARY INSPECTIONS AND / OR CERTIFICATIONS REQUIRED BY CODES AND / OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- UNDERGROUND UTILITIES SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- CONTRACTOR SHALL NOTIFY THE UTILITY BEFORE CONNECTING TO EXISTING UTILITY.
- EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
- ALL UTILITY PIPES SHALL BE BEDDED AND BACKFILLED IN ACCORDANCE WITH THE DETAIL DRAWINGS.
- TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS. ANY EXISTING MANHOLES IN UNPAVED AREAS SHALL BE FOUR (4) INCHES ABOVE FINISHED GROUND ELEVATIONS WITH WATER TIGHT LIDS.
- ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 3000 PSI.
- SITE WORK CONTRACTOR SHALL BE RESPONSIBLE FOR ALL IMPROVEMENTS TO WITHIN FIVE (5) FEET OF PROPOSED BUILDING UNLESS SPECIFIED OTHERWISE. SITE WORK CONTRACTOR SHALL COORDINATE WITH BUILDING CONTRACTOR ON ALL UTILITY BUILDING ENTRANCE LOCATIONS.
- DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
- CONTRACTOR SHALL VERIFY UTILITY LOCATIONS PRIOR TO SUBSURFACE WORK FOR LIGHT POLES, BORING, ETC. AND SIMILAR STRUCTURES.
- ALL UTILITIES SHALL BE TESTED TO ENSURE PROPER INSTALLATION.

**SANITARY SEWER GENERAL NOTES**

- ALL GRAVITY SANITARY SEWER PIPE SHALL MEET SDR35 PVC REQUIREMENTS. SEWER LINE CONSTRUCTION AND MATERIALS SHALL CONFORM TO ASTM STANDARDS AND SPECIFICATIONS.
- DISTANCES FOR SANITARY SEWER ARE THE HORIZONTAL DISTANCES FROM CENTER OF MANHOLE TO CENTER OF MANHOLE. THEREFORE, DISTANCES SHOWN ON PLANS ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT.
- RIM ELEVATIONS SHOWN ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATION. PIPELINE CONTRACTOR SHALL USE PRECAST CONCRETE ADJUSTMENT RINGS, GROUT, AND STEEL SHIMS TO ADJUST THE MANHOLE FRAME TO THE REQUIRED FINAL GRADE IN ACCORDANCE WITH THE PLANS. ALL FRAME SHALL BE ADJUSTED TO FINAL GRADE PRIOR TO THE FINAL LIFT OF ASPHALT.
- ALL SANITARY SEWER MAIN TESTING SHALL BE IN ACCORDANCE WITH UTILITY COMPANY STANDARDS. ALL TEST RESULTS SHALL BE PROVIDED TO THE OWNERS ENGINEER, THE OWNER, AND THE GOVERNING AUTHORITY PRIOR TO BEGINNING SERVICE.
- COMPACTION OF ALL TRENCHES WITHIN PROJECT SITE MUST BE ATTAINED AND COMPACTION RESULTS SUBMITTED THE ENGINEER PRIOR TO FINAL ACCEPTANCE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING STRUCTURES AND IMPROVEMENTS DURING INSTALLATION OF SANITARY SEWER SYSTEM.
- CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR ALL CONNECTIONS TO BUILDING SERVICES AND VERIFY LOCATIONS AS SHOWN PRIOR TO CONSTRUCTION.
- SANITARY SEWER STRUCTURES AND PIPES SHALL BE BEDDED IN ACCORDANCE WITH DETAILS ON PLANS.
- ALL SANITARY SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH ASPHALT, AND SHALL HAVE TRAFFIC BEARING CASTINGS. MANHOLES IN UNPAVED AREAS SHALL BE FOUR (4) INCHES ABOVE FINISH GROUND GRADING. ALL STORM STRUCTURE LIDS SHALL BE BITUMINOUS COATED AND LABELED "SANITARY SEWER".

**EROSION PREVENTION AND SEDIMENT CONTROLS**

- DURING CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE PROPER SOIL EROSION MEASURES FOR PROTECTION OF ALL ADJOINING ROADS, LANDS, AND STREAMS. REFER TO S.C.S. MANUAL "RAINWATER AND LAND DEVELOPMENT" AND T.O.E.C. "EROSION & SEDIMENT CONTROL HANDBOOK" FOR REQUIREMENTS.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING AND GRUBBING. THE CONTRACTOR SHALL PROVIDE SEDIMENT CONTROL AT ALL POINTS WHERE STORM WATER LEAVES THE LIMITS OF THE PROJECT. ALL POINTS WHERE STORM WATER ENTERS A STREAM THAT TRAVERSES THE PROJECT, AND ALL POINTS WHERE STORM WATER ENTERS PORTIONS OF COMPLETED UNDERGROUND PIPING.
- THE CONSTRUCTION BMP'S WITHIN THESE PLANS REPRESENT THE MINIMUM REQUIRED ON-SITE. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ON-SITE BMP'S AS THE PROJECT PROGRESSES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL TEMPORARY AND PERMANENT CONTROL PRACTICES TO ENSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. SHOULD A STRUCTURE OR FEATURE BECOME DAMAGED, THE CONTRACTOR SHALL REPAIR OR REPLACE AT NO ADDITIONAL COST TO THE OWNER.

NO.	DATE	DESCRIPTION	BY	CHK



TAPAN V PATEL  
 WHITE OAK STREET  
 LIQUOR STORE  
 HARTSVILLE, TENNESSEE

**GENERAL NOTES**



REVISION:	J.D.C.	DATE:	11-21-25	BY:	BS6502
DESIGNED BY:	S.N.L.	CHECKED BY:	S.N.L.	SCALE:	NONE

SHEET  
**G1**



**SITE DATA INFORMATION**

OWNERS ADDRESS: PATEL TAPAN V  
5340 BUDDING COURT  
MARIETTA, GA 30068

ENGINEER ADDRESS: MID-TENN ENGINEERING COMPANY, INC  
648 HWY 52 WEST  
LAFAYETTE, TN 37083  
615-666-2385

SITE ADDRESS: WHITE OAK STREET  
ZONING: C-1  
AREA OF TRACT = 0.88 AC.  
TAX MAP ID: MAP 019K, PARCEL 017.00 & 018.00  
PROPOSED USE: LIQUOR STORE/OFFICE SPACE

REQUIRED YARDS: FRONT = 25'  
SIDES = 25'  
REAR = 15'

EXISTING CONDITIONS:  
BUILDING = 1,470 S.F.  
PAVEMENT = 6,930 S.F.  
TOTAL IMPERVIOUS SURFACE = 10,409 S.F.  
GRASS AREA = 28,306 S.F. OR 0.65 AC.

PROPOSED CONDITIONS:  
BUILDING = 5,950 S.F.  
PAVEMENT = 17,838 S.F.  
SIDEWALKS = 1,444 S.F.  
TOTAL IMPERVIOUS SURFACE = 25,232 S.F. OR 0.58 AC.  
GRASS AREA = 12,683 S.F.

▲ MAXIMUM BUILDING HEIGHT = 15'  
▲ PROPOSED BUILDING HEIGHT = 15'

PROPOSED PARKING REQUIREMENTS:  
# PARKING SPACES REQUIRED \* 30 SPACES  
# OF PARKING SPACES PROVIDED IN PAVEMENT 30 SPACES  
# OF HANDICAP PARKING SPACES REQUIRED \*\* 2 SPACES  
# OF HANDICAP PARKING SPACES PROVIDED 2 SPACES  
SIZE OF PARKING SPACES 9' W X 18' L

\* NUMBER OF PARKING SPACES REQUIRED WAS CALCULATED USING 1 SPACE FOR EACH 200 S.F. OF PROPOSED BUILDING.  
\*\* NUMBER OF HANDICAP PARKING SPACES REQUIRED WAS CALCULATED USING 2 SPACES WHEN BETWEEN 26-50 SPACES IN PROPOSED DEVELOPMENT.

NOTES:  
ALL CONSTRUCTION AND USE OF THE PROPOSED FACILITY TO MEET THE APPLICABLE PERFORMANCE STANDARDS AS SET FORTH IN THE CITY OF HARTSVILLE ZONING ORDINANCE  
THE OWNER/DEVELOPER OF THIS PROPERTY IS RESPONSIBLE FOR ALL FINANCIAL MATTERS.

BENCHMARK	DESCRIPTION	NORTHING	EASTING	ELEVATION
BM#1	PROP. HUB INSTALLED	750,932.13	1,919,837.80	482.60
BM#2	EXISTING IRON PIN	750,942.92	1,919,839.03	483.82

- NOTES:  
1. BOUNDARY SURVEY WERE PROVIDED BY VESTER LAND SURVEYING LLC COMPLETED ON MAY 7TH, 2023 AND TOPOGRAPHY IS SITE SPECIFIC COMPLETED BY MID-TENN ENGINEERING CO.  
2. COORDINATES AND ELEVATIONS ARE BASED ON TENNESSEE STATE PLANE (NAD 83).  
3. REVIEW OF F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 4716900043C SHOWS NO PART OF THIS PROPERTY TO BE WITHIN THE 100-YEAR FLOODPLAIN EFFECTIVE DATE 09/29/10.

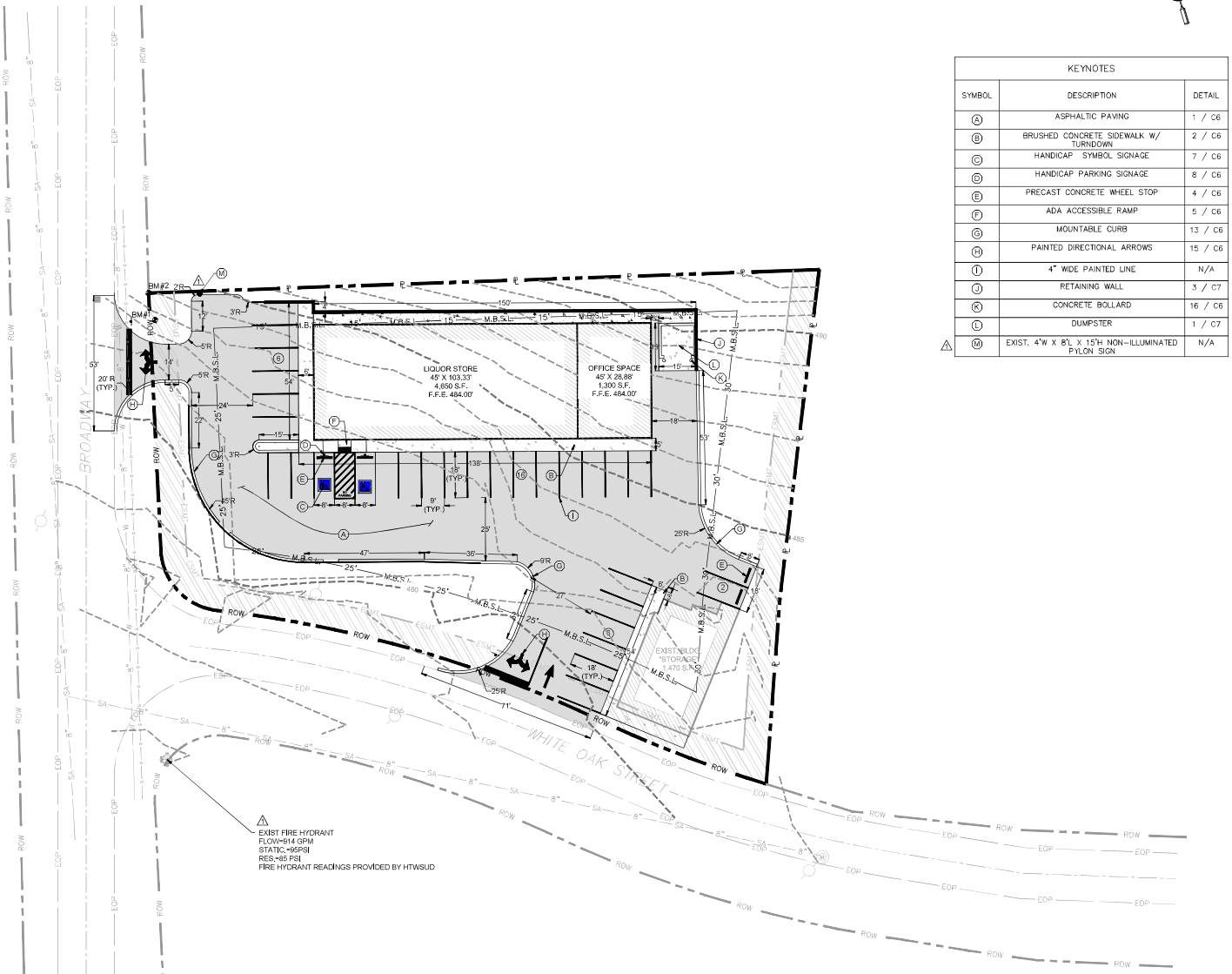
**PROPOSED SITE LEGEND**

SYMBOL	DESCRIPTION
— 950	EXISTING CONTOUR
— 960	PROPOSED CONTOUR
—	CENTERLINE OF ST/CH
x	SPOT ELEVATION - FINISHED GRADE
x	SPOT ELEVATION - TOP OF CURB / CONC.
x	SPOT ELEVATION - BOTTOM OF CURB / CONC.
x	SPOT ELEVATION - TOP OF WALL
x	SPOT ELEVATION - BOTTOM OF WALL



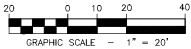
Know what's below.  
Call before you dig.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT UTILITY COMPANIES THREE WORKING DAYS PRIOR TO ANY CONSTRUCTION. THE LOCATION OF UTILITIES SHOWN IN THESE PLANS IS APPROXIMATE AND POSSIBLY INCOMPLETE.



**KEYNOTES**

SYMBOL	DESCRIPTION	DETAIL
(A)	ASPHALTIC PAVING	1 / C6
(B)	BRUSHED CONCRETE SIDEWALK W/ TURNDOWN	2 / C6
(C)	HANDICAP SYMBOL SIGNAGE	7 / C6
(D)	HANDICAP PARKING SIGNAGE	8 / C6
(E)	PRECAST CONCRETE WHEEL STOP	4 / C6
(F)	ADA ACCESSIBLE RAMP	5 / C6
(G)	MOUNTABLE CURB	13 / C6
(H)	PAINTED DIRECTIONAL ARROWS	15 / C6
(I)	4" WIDE PAINTED LINE	N/A
(J)	RETAINING WALL	3 / C7
(K)	CONCRETE BOLLARD	16 / C6
(L)	DUMPSTER	1 / C7
(M)	EXIST. 4' W X 8' L X 15' H NON-ILLUMINATED PYLON SIGN	N/A



**MID - TENN ENGINEERING CO.**  
648 HWY 52 WEST  
LAFAYETTE, TN 37083

TAPAN V PATEL  
WHITE OAK STREET  
LIQUOR STORE  
HARTSVILLE, TENNESSEE

**PROPOSED SITE LAYOUT**

**C2**

DATE	12-20-23	NO.	855502
DESCRIPTION	REVISIONS PER HARTSVILLE COMMENTS	BY	J.D.C.
REVISIONS		BY	

**STORMWATER CALCULATIONS (DETENTION POND)**

PRE-DEVELOPMENT SITE STORM WATER RUNOFF CALCULATIONS:  
(S.C.S. METHOD, BASED ON 25-YEAR STORM EVENT)

TYPE II, 24-HOUR STORM DURATION  
24-HOUR RAINFALL DEPTH = 5.94 IN.  
DRAINAGE AREA = 0.88 ACRES  
HYDROLOGIC SOIL GROUP = B  
WEIGHTED CURVE NO., CN = 54  
STORM RUNOFF FLOW, Q = 4.49 CFS

POST-DEVELOPMENT SITE STORM WATER RUNOFF CALCULATIONS, POND 1  
(S.C.S. METHOD, BASED ON 25-YEAR STORM EVENT)

TYPE II, 24-HOUR STORM DURATION  
24-HOUR RAINFALL DEPTH = 5.94 IN.  
DRAINAGE AREA = 0.88 ACRES  
HYDROLOGIC SOIL GROUP = B  
WEIGHTED CURVE NO., CN = 58  
STORM RUNOFF FLOW, Q = 5.15 CFS

THEREFORE, STORM RUNOFF TO BE DETAINED ON-SITE = 5.15 CFS  
MINIMUM FLOW TO BE DETAINED = 0.68 CFS  
ACTUAL FLOW DETAINED = 1.91 CFS

**STORMWATER STRUCTURE TABLE**

ID	ELEVATION			STRUCTURE INFORMATION		
	GRAVE/LOC.	IN/IN.	OUT	ID TO ID	D.A.	C.F.S.
(OS)	980.00	978.25	978.15	(OS) (CB)	0.88	3.24
(CB)		977.95				

NOTES: ALL STRUCTURES ARE DESIGNED TO PASS A 100-YR. STORM EVENT.  
ALL VALUES TABLE ARE BASED ON A 25-YR STORM EVENT.

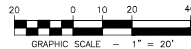
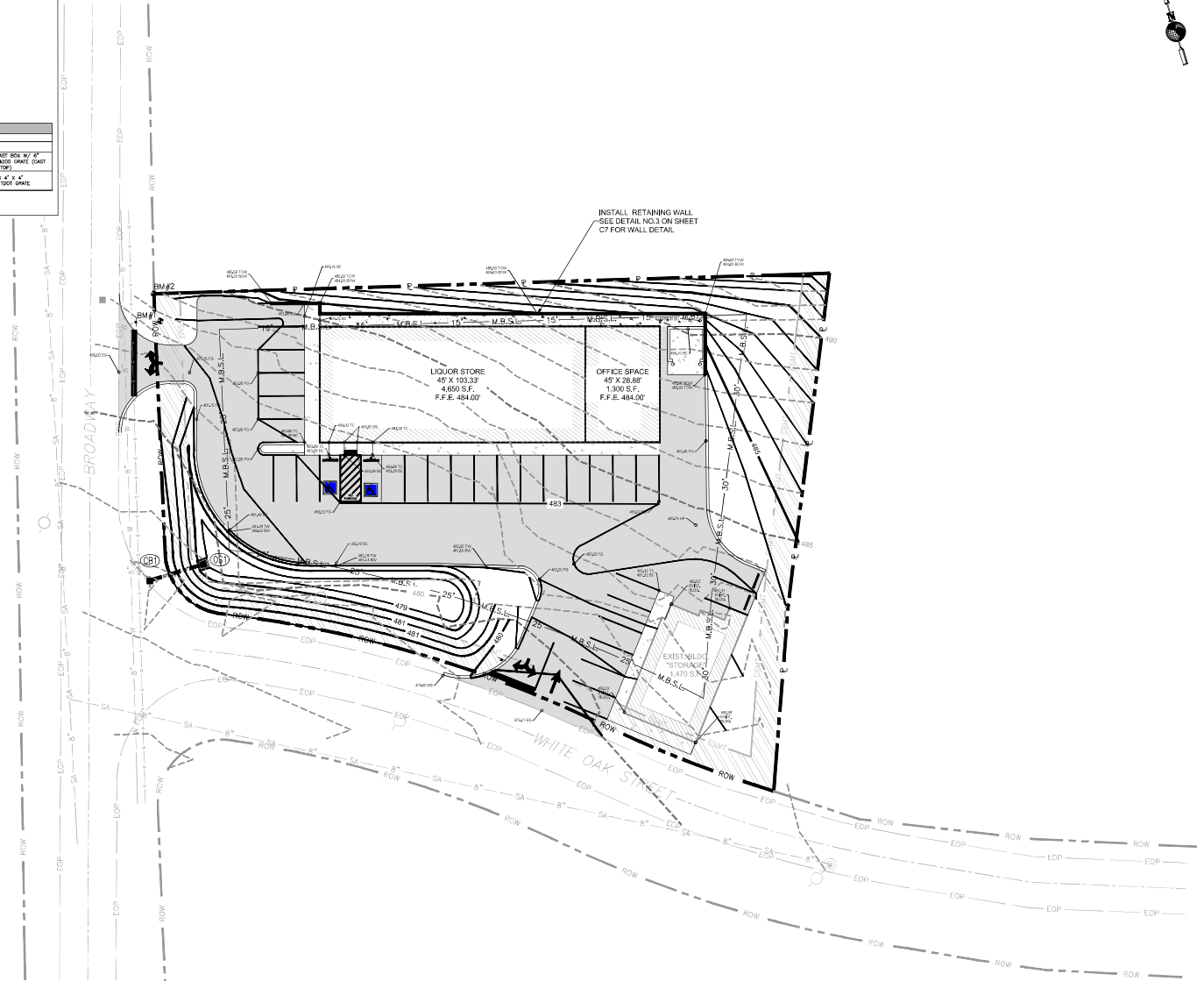
**PROPOSED SITE LEGEND**

SYMBOL	DESCRIPTION
— 3.00 —	EXISTING CONTOUR
— 980 —	PROPOSED CONTOUR
—	CENTERLINE OF DITCH
⊙ 980.0	SPOT ELEVATION - FINISHED GRADE
⊙ 980.0 TC	SPOT ELEVATION - TOP OF CURB / CONC.
⊙ 980.0 BC	SPOT ELEVATION - BOTTOM OF CURB / CONC.
⊙ 980.0 TW	SPOT ELEVATION - TOP OF WALL
⊙ 980.0 BW	SPOT ELEVATION - BOTTOM OF WALL



Know what's below.  
Call before you dig.

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NO.	DATE	DESCRIPTION	BY	CHK

**MID - TENN ENGINEERING CO.**  
648 BERRY AVE. SUITE 200  
LAURELTON, TN 37053

TAPAN V. PATEL  
WHITE OAK STREET  
LIQUOR STORE  
HARTSVILLE, TENNESSEE

**PROPOSED GRADING PLAN**

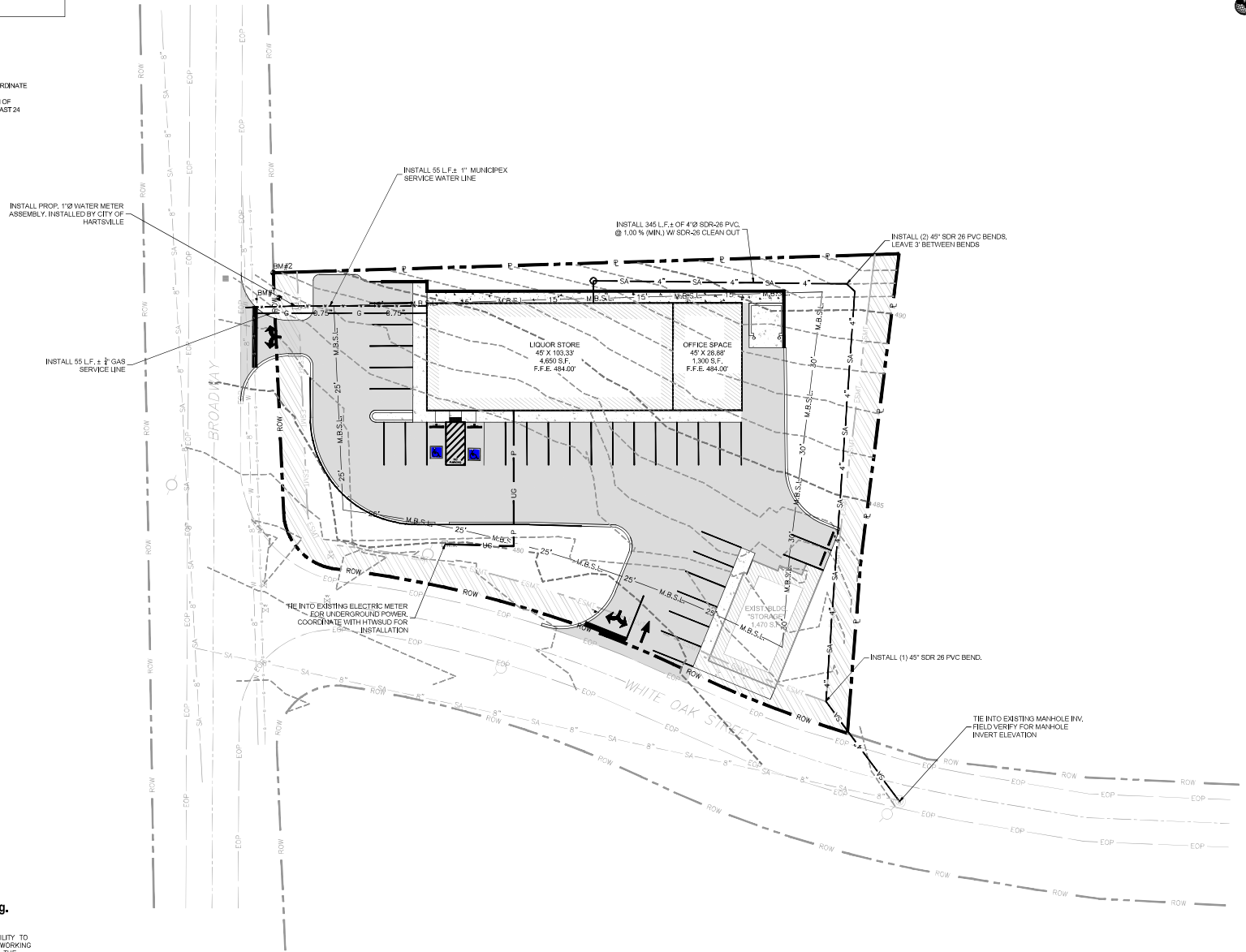


DESIGNED BY: J.D.C.  
DATE: 11-21-25  
DRAWN BY: S.J.L.  
SCALE: 855502  
SHEET: 1" = 20'

**C3**

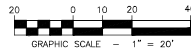
SITE LEGEND	
---	EXISTING PROPERTY LINE
---	EXISTING RIGHT-OF-WAY
---	EXISTING EDGE OF PAVEMENT
---	WATERLINE
---	CENTERLINE
---	WHITE LINE
●	EXISTING IRON PIN

**NOTES:**  
 NO BENDS GREATER THAN 45 DEGREES ALLOWED  
 THE OWNER/DEVELOPER OF THIS PROPERTY IS RESPONSIBLE FOR ALL FINANCIAL MATTERS.  
 THE PROPERTY OWNER OR DEVELOPER MUST COORDINATE WITH THE LOCAL HARTSVILLE UTILITY COURTYARD TO ARRANGE FOR THE REMOVAL AND DISCONNECTION OF UTILITY POLES AND OVERHEAD POWER LINES AT LEAST 24 HOURS BEFORE CONSTRUCTION BEGINS.



Know what's below.  
 Call before you dig.

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NO.	DATE	DESCRIPTION	BY	CAD

**MID - TENN  
 ENGINEERING CO.**  
 648 BIRNEY DR. CROSSWAY  
 LAWRENCEVILLE, TN 37046

TAPAN V PATEL  
 WHITE OAK STREET  
 LIQUOR STORE  
 HARTSVILLE, TENNESSEE

PROPOSED SITE  
 UTILITIES PLAN

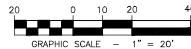


DESIGNED BY	J.D.C.
DRAWN BY	S.J.L.
CHECKED BY	S.J.L.
DATE	11-21-25
SCALE	1" = 20'
SHEET NO.	859502

C4

PLANT SCHEDULE						
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	12	CUPRESSOCYPRIS	LEYLAND CYPRESS	B&B		6'-7" HT.
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING
	21	AZALEA ROBEIA	AUTUMN SWEETHEART	3 GAL	18" X 24"	4'-0"
	12	ILEX GLABRA 'SHAMROCK'	INKBERRY	3 GAL	18" X 24"	4'-0"

SITE LEGEND	
	EXISTING PROPERTY LINE
	EXISTING RIGHT-OF-WAY
	EXISTING EDGE OF PAVEMENT
	WATERLINE
	CENTERLINE
	WHITE LINE
	EXISTING IRON PIN



NO.	DATE	DESCRIPTION	BY	CHK

**MID - TENN  
ENGINEERING CO.**  
648 BIRNEY DR. CROSSWAY, TN  
LAURELTON TN 37050

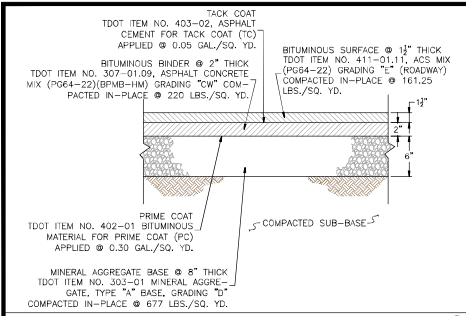
TAPAN V PATEL  
WHITE OAK STREET  
LIQUOR STORE  
HARTSVILLE, TENNESSEE

**PROPOSED  
LANDSCAPING PLAN**

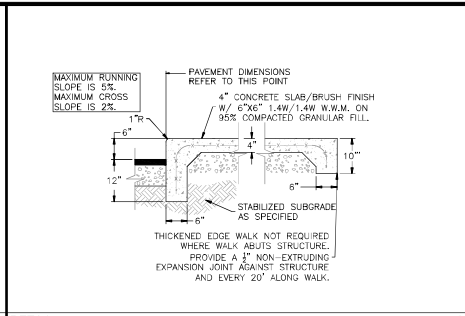


DESIGNED BY	J.D.C.
DRAWN BY	S.J.L.
CHECKED BY	S.J.L.
DATE	11-21-25
SCALE	1" = 20'
PROJECT NO.	855502

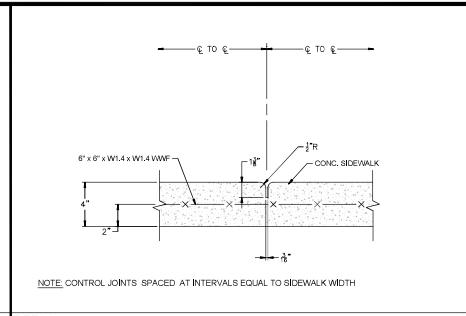
**C5**



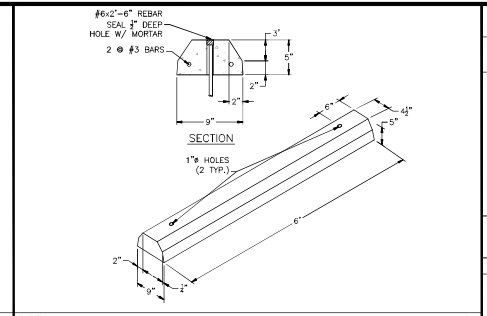
DETAIL ASPHALTIC PAVING SCALE: N.T.S. ①



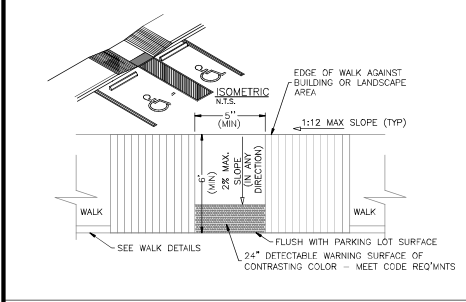
DETAIL BRUSHED CONCRETE SIDEWALK SCALE: N.T.S. ②



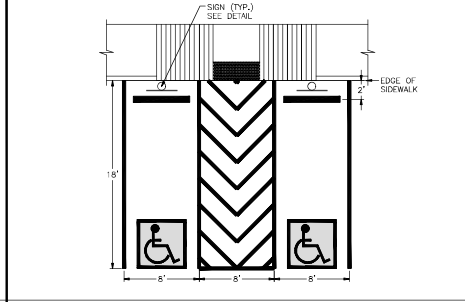
DETAIL SIDEWALK CONTROL JOINT SCALE: N.T.S. ③



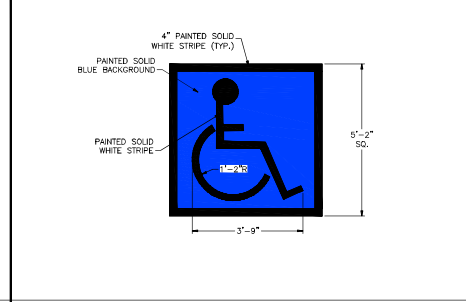
DETAIL PRE-CAST CONCRETE WHEEL STOP SCALE: N.T.S. ④



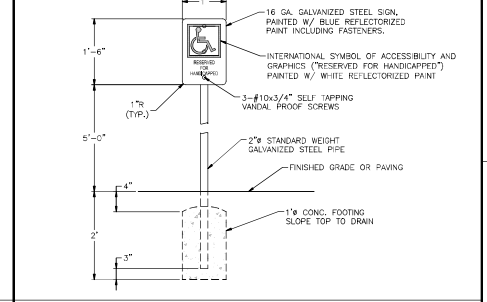
DETAIL ACCESSIBLE PARKING RAMP SCALE: N.T.S. ⑤



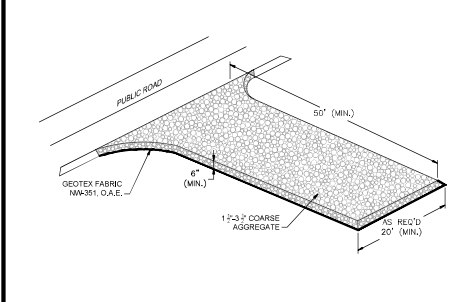
DETAIL HANDICAP PARKING LAYOUT SCALE: N.T.S. ⑥



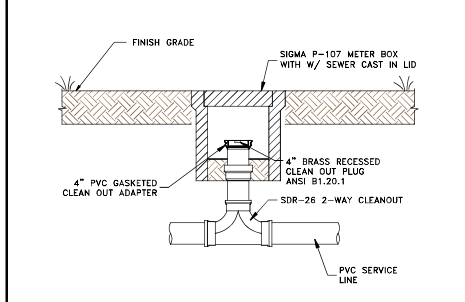
DETAIL HANDICAP PARKING SIGNAGE SCALE: N.T.S. ⑦



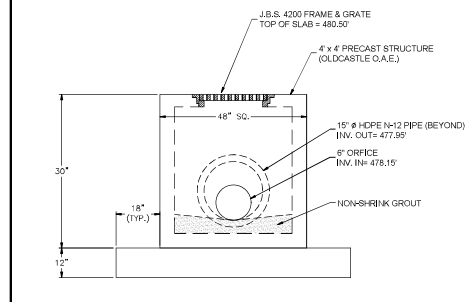
DETAIL HANDICAP PARKING SIGNAGE SCALE: N.T.S. ⑧



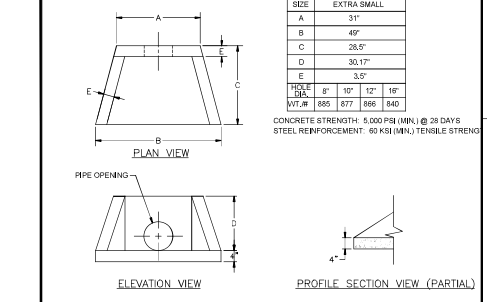
DETAIL TEMPORARY CONSTRUCTION ENTRANCE SCALE: N.T.S. ⑨



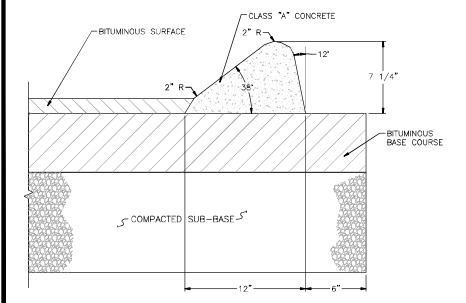
DETAIL TYPICAL NON-TRAFFIC CLEAN-OUT ASSEMBLY SCALE: N.T.S. ⑩



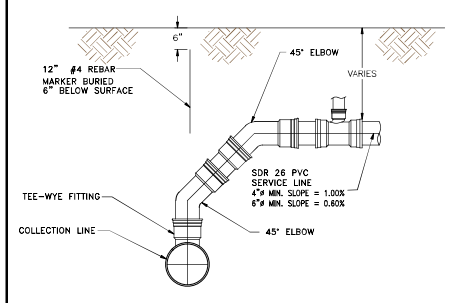
DETAIL OUTLET CONTROL STRUCTURE #1 SCALE: N.T.S. ⑪



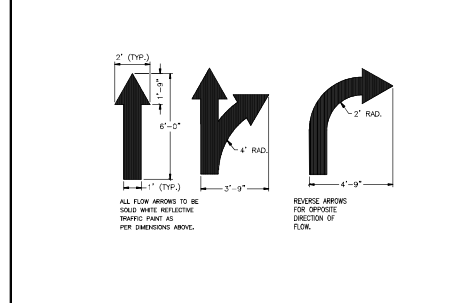
DETAIL STANDARD PRECAST HEADWALL SCALE: N.T.S. ⑫



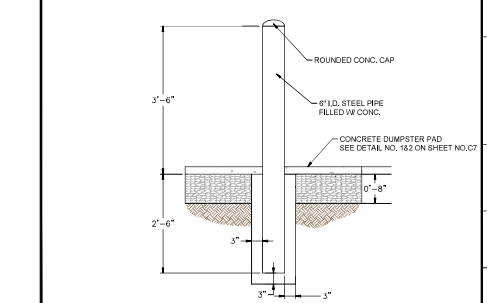
DETAIL EXTRUDED 6\"/>



SECTION INSTALLED GRAVITY SERVICE DETAIL SCALE: N.T.S. ⑬



DETAIL PAINTED DIRECTIONAL ARROWS SCALE: N.T.S. ⑭



DETAIL CONCRETE BOLLARD SCALE: N.T.S. ⑮

NO.	DATE	DESCRIPTION	BY	CHK.

MID - TENN  
ENGINEERING CO.  
648 BERRY AVE. #200  
LEWISTON, TN 37078

TAPAN V PATEL  
WHITE OAK STREET  
LIQUOR STORE  
HARTSVILLE, TENNESSEE

STANDARD SITE DETAILS



PROJECT:	J.D.C.
DATE:	11-21-25
SCALE:	N.T.S.
SHEET:	855602

C6





# Planning/BZA Permit Application

Date: 11/21/2025  
Permit #: 25376

## Applicant / Owner

Applicant Name: Stephen Lancaster  
Address: [REDACTED]  
City, State, Zip: [REDACTED]  
Phone: [REDACTED]  
Email: [REDACTED]  
Type:

Owner Name: Robert Powers  
Address: 617 East Main Street  
City, State, Zip: Harstville, TN, 37074  
Phone: [REDACTED]  
Email: [REDACTED]

## Project

Permit Type: Zoning - Planning / BZA  
Status: Pending  
Location:  
Tax Map #: 027D  
Group: C  
Parcel: 3.00  
Record/Deed: r.b. 77, pg.157

Subdivision:  
Phase:  
Lot #:  
Request Type: Site Plan  
Water Source: Hartsville / Trousdale Water Dept.  
Sewer / Septic: Sewer  
Zoning District: R3

Project Description: Site Plan - Townhomes

I do hereby certify that the information contained herein is true and correct.

[REDACTED]

Stephen Lancaster

11/21/2025

Date

# ROBERT POWERS

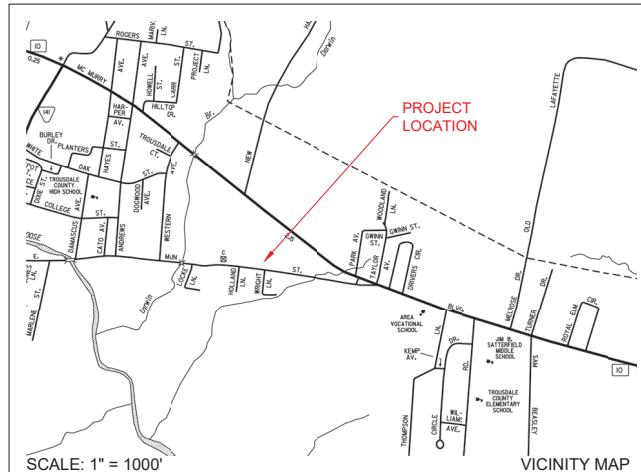
## 617 EAST MAIN STREET TOWNHOMES

HARTSVILLE, TENNESSEE  
 TAX MAP 027D, GROUP A, PARCEL 003.00  
 EAST MAIN STREET

### INDEX OF DRAWINGS

DESCRIPTION	SHEET
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EXISTING SITE PLAN	C1
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PROPOSED GRADING & DRAINAGE PLAN	C3
PROPOSED UTILITY PLAN	C4
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T1
G1
C1
C2
C3
C4
C5



### SITE DATA

OWNER / APPLICANT:	ROBERT POWERS 784 MCMURRY BLVD. E. HARTSVILLE, TN 37074
ZONING:	R-3
AREA OF TRACT:	0.64± AC.
TAX MAP ID:	027D
PROPOSED USE OF STRUCTURES:	TOWN HOMES
LAND DISTURBANCE:	0.64± AC.
WATER:	PUBLIC, HTWSUD
WASTE:	PUBLIC, HTWSUD
EXISTING BUILDING GROSS:	847 S.F.
PROPOSED BUILDING GROSS:	5,530 S.F.
EXISTING IMPERVIOUS SURFACE AREA:	2,680 S.F.
PROPOSED IMPERVIOUS SURFACE AREA:	10,004 S.F.
△ MAXIMUM BUILDING HEIGHT	15'
△ PROPOSED BUILDING HEIGHT	15'

\*SITE PLAN APPROVAL WILL CEASE TO BE EFFECTIVE AFTER 1 YEAR AFTER DATE OF APPROVAL IF A BUILDING PERMIT HAS NOT BEEN ISSUED OR UNLESS THE SITE IS RE-APPROVED.

NO.	DATE	DESCRIPTION	BY	CHKD.
1	12-21-25	REVISIONS PER-HAIRSALLE COMMENTS	S.N.L.	J.D.C.



ROBERT POWERS  
 617 EAST MAIN STREET TOWNHOMES  
 HARTSVILLE, TENNESSEE

COVER SHEET



DESIGNED BY	J.D.C.
DRAWN BY	S.N.L.
CHECKED BY	J.D.C.
DATE	11-21-25
SCALE	AS-NOTED
PROJECT NO.	859609

T1

**MID - TENN**  
**ENGINEERING CO.**  
 648 HWY. 52 BYPASS WEST  
 LAFAYETTE, TN (615) 666-2365

**GENERAL NOTES**

- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE OBTAINING TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS, REFERENCED DOCUMENTS, AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- THESE PLANS ARE BASED ON INFORMATION PROVIDED TO OUR OFFICE AT THE TIME OF PLAN PREPARATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY OUR OFFICE IF ACTUAL SITE CONDITIONS DIFFER FROM THAT SHOWN ON THE PLAN, OR IF THE PROPOSED WORK WOULD BE INHIBITED BY ANY OTHER SITE FEATURES.
- ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OF GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL / BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY / EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY LOCATIONS AND SITE LIGHTING ELECTRICAL DESIGN AND LAYOUT.
- LOCATIONS OF PROPERTY LINES & UNDERGROUND UTILITIES POSSIBLY INCOMPLETE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATION & ELEVATION OF ALL EXISTING UNDERGROUND UTILITIES BEFORE MAKING TIES TO THEM.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL TOWN, COUNTY, STATE AND FEDERAL LAWS AND APPLICABLE CODES. CONTRACTOR SHALL PROPERLY REMOVE AND DISPOSE OF HAZARDOUS / UNSUITABLE MATERIAL OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE CODES AND LAWS.
- THE CONTRACTOR SHALL OBTAIN & POST ALL NECESSARY PERMITS.
- THE CONTRACTOR SHALL PROVIDE SAFETY MEASURES, THROUGHOUT THE FULL TERM OF THE PROJECT, IN STRICT ACCORDANCE WITH THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS AS PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.
- A COPY OF THE APPROVED PROJECT PLANS SHALL REMAIN WITH THE CONTRACTOR ON SITE AT ALL TIMES DURING THE PROJECT.
- THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS / MEANS FOR COMPLETION OF THE WORK DEPICTED ON THESE PLANS / SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR RESPONSIBLE FOR DETERMINING METHOD / MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND NOTIFICATION OF OWNER AND ENGINEER OF RECORD WHEN A CONFLICT IS IDENTIFIED.
- NEITHER THE PROFESSIONAL ACTIVITIES OF MID-TENN ENGINEERING COMPANY NOR THE PRESENCE OF MID-TENN ENGINEERING COMPANY OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION SITE SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THESE PLANS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. MID-TENN ENGINEERING COMPANY AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. MID-TENN ENGINEERING COMPANY SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE MADE ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.

**GRADING GENERAL NOTES**

- CONTOURS SHOWN ARE FOR FINISHED PAVING, SIDEWALK, SLAB, OR GROUND. ADJUSTMENT TO SUBGRADE IS THE CONTRACTOR'S RESPONSIBILITY.
- PROOF ROLL THE SITE WITH A TANDEM AXLE LOADED DUMP TRUCK IN TWO DIRECTIONS. ANY AREAS WHICH ARE NOTED TO RUT OR PUMP EXCESSIVELY SHALL BE UNDERCUT AND BACKFILLED WITH COMPACTED ENGINEERED FILL ACCORDING TO THE COMPACTION REQUIREMENTS BELOW.
- IF DURING THE OVERLOT GRADING PROCESS, CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE AN UNIDENTIFIED SOILS SITUATION IS PRESENT, THE GEOTECHNICAL ENGINEER AND OWNERS CIVIL ENGINEER CONSULTANT (MID-TENN ENGINEERING COMPANY) SHALL BE CONTACTED FOR RECOMMENDATIONS.
- UNLESS OTHERWISE SHOWN, NO PROPOSED SLOPE SHALL EXCEED TWO (2) HORIZONTAL TO ONE (1) VERTICAL. ALL SLOPED AREAS MUST BE PROTECTED FROM EROSION.
- SPOT ELEVATIONS SHALL TAKE PRECEDENCE OVER CONTOURS AND SLOPES SHOWN. THE CONTRACTOR SHALL NOTIFY THE OWNERS ENGINEER OF SPOT ELEVATIONS THAT DO NOT APPEAR TO BE CONSISTENT WITH THE CONTOURS AND SLOPES. SPOT ELEVATIONS AND SPECIFIC PROFILE DESIGN SHALL BE USED FOR SETTING ELEVATIONS OF CURB, GUTTER, AND UTILITIES.
- CONTRACTOR SHALL USE BENCHMARKS AND DATUMS SHOWN HEREON TO SET PROJECT BENCHMARK(S), BY RUNNING A LEVEL LOOP BETWEEN AT LEAST TWO BENCHMARKS, AND SHALL PROVIDE SURVEY NOTES OF SUCH TO PROJECT ENGINEER PRIOR TO COMMENCING CONSTRUCTION.
- ALL UTILITIES (MANHOLES, VALVE COVERS, CLEANOUTS, VAULTS, BOXES, ETC.) SHALL BE ADJUSTED TO FINAL GRADE PRIOR TO FINAL LIFT OF ASPHALT.
- SPOT ELEVATIONS REPRESENT FLOW LINE OR TOP OF ASPHALT UNLESS OTHERWISE NOTED.
- EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- EXISTING GRADE CONTOUR INTERVALS SHOWN AT ONE (2) FOOT INTERVALS.
- PROPOSED GRADE CONTOUR INTERVALS SHOWN AT ONE (2) FOOT INTERVALS.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
- ALL SITE CONCRETE TO HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 3000 PSI.
- PAVEMENT OPERATION TO COMMENCE AS SOON AS POSSIBLE AFTER COMPLETION OF FINAL GRADING.

**ADA GENERAL NOTES**

- ALL HANDICAP PARKING STALLS SHALL BE PAINTED AND SIGNED IN STRICT ACCORDANCE WITH CURRENT ADA STANDARDS AND LOCAL REGULATIONS.
- ALL HANDICAP RAMPS AND ACCESSIBLE RAMPS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH CURRENT ADA STANDARDS AND LOCAL REGULATIONS.
- THE FOLLOWING CRITERIA SHALL APPLY TO ALL CONSTRUCTION WITHIN THE LIMITS OF THIS PROJECT.
  - THE MAXIMUM CROSS SLOPE OF ANY SIDEWALK, PEDESTRIAN ACCESS OR STORE FRONT SHALL NOT EXCEED 2%. THE SLOPE SHALL BE MEASURED PERPENDICULAR TO THE DIRECTION OF TRAVEL.
  - THE GRADES WITHIN HANDICAP PARKING STALLS SHALL NOT EXCEED 2% MEASURED IN ANY DIRECTION. HANDICAP PARKING STALLS SHALL HAVE AN ACCESSIBLE ROUTE, AS NOTED BELOW, TO THE BUILDING ENTRY AS SHOWN ON THE PLANS.
  - ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5%. ACCESSIBLE ROUTES EXCEEDING 5% SHALL BE CONSTRUCTED WITH RAMPS AND HANDRAILS HAVING A MAXIMUM SLOPE OF 8.33% FOR A MAXIMUM RISE OF THIRTY (30) INCHES. A 5-FOOT BY 5-FOOT LANDING PAD (WITH MAXIMUM SLOPE OF 2% IN ANY DIRECTION) SHALL BE CONSTRUCTED AT THE BOTTOM AND TOP OF ALL RAMPS.
- ALL SITE DIRECTIONAL SIGNS SHALL HAVE A MINIMUM CLEAR DISTANCE OF SEVEN (7) FEET AS MEASURED FROM THE GROUND TO THE BOTTOM OF THE LOWEST SIGN.
- ALL ACCESSIBLE ROUTES THAT CROSS A VEHICULAR DRIVE SHALL CONTAIN DETECTABLE WARNING IN STRICT ACCORDANCE WITH CURRENT ADA STANDARDS AND LOCAL REGULATIONS WHETHER OR NOT A RAMP IS NEEDED.
- THE MAXIMUM VERTICAL GRADE DIFFERENTIAL BETWEEN SURFACES ALONG AN ACCESSIBLE ROUTE SHALL BE A MAXIMUM OF 1/4 INCH.
- THE CONTRACTOR SHALL HAVE ALL CONCRETE FORMS THAT ARE PART OF ANY DESIGNATED ACCESSIBLE ROUTE, STORE FRONT, HANDICAP PARKING SPACE OR RAMP CHECKED BY OWNERS ENGINEER OF RECORD TO VERIFY GRADES AND CROSS SLOPES PRIOR TO PLACEMENT OF ANY CONCRETE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL COSTS AND DAMAGES FOR IMPROVEMENTS INSTALLED OR OTHERWISE IMPACTED BY WORK NOT APPROVED BY THE OWNERS ENGINEER.

**UTILITY GENERAL NOTES**

- ALL INSTALLATION AND MATERIALS SHALL, AT A MINIMUM, CONFORM TO HARTSVILLE/TROUSDALE WATER SEWER UTILITY DISTRICT STANDARDS, SPECIFICATIONS, PLANS, AND DETAILS.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- ALL NECESSARY INSPECTIONS AND / OR CERTIFICATIONS REQUIRED BY CODES AND / OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- UNDERGROUND UTILITIES SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- CONTRACTOR SHALL NOTIFY THE UTILITY BEFORE CONNECTING TO EXISTING UTILITY.
- EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
- ALL UTILITY PIPES SHALL BE BEDDED AND BACKFILLED IN ACCORDANCE WITH THE DETAIL DRAWINGS.
- TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS. ANY EXISTING MANHOLES IN UNPAVED AREAS SHALL BE FOUR (4) INCHES ABOVE FINISHED GROUND ELEVATIONS WITH WATER TIGHT LIDS.
- ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 3000 PSI.
- SITE WORK CONTRACTOR SHALL BE RESPONSIBLE FOR ALL IMPROVEMENTS TO WITHIN FIVE (5) FEET OF PROPOSED BUILDING UNLESS SPECIFIED OTHERWISE. SITE WORK CONTRACTOR SHALL COORDINATE WITH BUILDING CONTRACTOR ON ALL UTILITY BUILDING ENTRANCE LOCATIONS.
- DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
- CONTRACTOR SHALL VERIFY UTILITY LOCATIONS PRIOR TO SUBSURFACE WORK FOR LIGHT POLES, BORING, ETC. AND SIMILAR STRUCTURES.
- ALL UTILITIES SHALL BE TESTED TO ENSURE PROPER INSTALLATION.

**SANITARY SEWER GENERAL NOTES**

- ALL GRAVITY SANITARY SEWER PIPE SHALL MEET SDR35 PVC REQUIREMENTS. SEWER LINE CONSTRUCTION AND MATERIALS SHALL CONFORM TO ASTM STANDARDS AND SPECIFICATIONS.
- DISTANCES FOR SANITARY SEWER ARE THE HORIZONTAL DISTANCES FROM CENTER OF MANHOLE TO CENTER OF MANHOLE. THEREFORE, DISTANCES SHOWN ON PLANS ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT.
- RIM ELEVATIONS SHOWN ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATION. PIPELINE CONTRACTOR SHALL USE PRECAST CONCRETE ADJUSTMENT RINGS, GROUT, AND STEEL SHIMS TO ADJUST THE MANHOLE FRAME TO THE REQUIRED FINAL GRADE IN ACCORDANCE WITH THE PLANS. ALL FRAME SHALL BE ADJUSTED TO FINAL GRADE PRIOR TO THE FINAL LIFT OF ASPHALT.
- ALL SANITARY SEWER MAIN TESTING SHALL BE IN ACCORDANCE WITH UTILITY COMPANY STANDARDS. ALL TEST RESULTS SHALL BE PROVIDED TO THE OWNERS ENGINEER, THE OWNER, AND THE GOVERNING AUTHORITY PRIOR TO BEGINNING SERVICE.
- COMPACTION OF ALL TRENCHES WITHIN PROJECT SITE MUST BE ATTAINED AND COMPACTION RESULTS SUBMITTED THE ENGINEER PRIOR TO FINAL ACCEPTANCE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING STRUCTURES AND IMPROVEMENTS DURING INSTALLATION OF SANITARY SEWER SYSTEM.
- CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR ALL CONNECTIONS TO BUILDING SERVICES AND VERIFY LOCATIONS AS SHOWN PRIOR TO CONSTRUCTION.
- SANITARY SEWER STRUCTURES AND PIPES SHALL BE BEDDED IN ACCORDANCE WITH DETAILS ON PLANS.
- ALL SANITARY SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH ASPHALT, AND SHALL HAVE TRAFFIC BEARING CASTINGS. MANHOLES IN UNPAVED AREAS SHALL BE FOUR (4) INCHES ABOVE FINISH GROUND GRADING. ALL STORM STRUCTURE LIDS SHALL BE BITUMINOUS COATED AND LABELED "SANITARY SEWER".

**EROSION PREVENTION AND SEDIMENT CONTROLS**

- DURING CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE PROPER SOIL EROSION MEASURES FOR PROTECTION OF ALL ADJOINING ROADS, LANDS, AND STREAMS. REFER TO S.C.S. MANUAL "RAINWATER AND LAND DEVELOPMENT" AND T.D.E.C. "EROSION & SEDIMENT CONTROL HANDBOOK" FOR REQUIREMENTS.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING AND GRUBBING. THE CONTRACTOR SHALL PROVIDE SEDIMENT CONTROL AT ALL POINTS WHERE STORM WATER LEAVES THE LIMITS OF THE PROJECT, ALL POINTS WHERE STORM WATER ENTERS A STREAM THAT TRAVERSES THE PROJECT, AND ALL POINTS WHERE STORM WATER ENTERS PORTIONS OF COMPLETED UNDERGROUND PIPING.
- THE CONSTRUCTION BMP'S WITHIN THESE PLANS REPRESENT THE MINIMUM REQUIRED ONSITE. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ONSITE BMP'S AS THE PROJECT PROGRESSES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL TEMPORARY AND PERMANENT CONTROL PRACTICES TO ENSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. SHOULD A STRUCTURE OR FEATURE BECOME DAMAGED, THE CONTRACTOR SHALL REPAIR OR REPLACE AT NO ADDITIONAL COST TO THE OWNER.

NO.	DATE	DESCRIPTION	BY	CHK

**MID - TENN  
ENGINEERING CO.**  
608 HIRSHWAY (SEE MAP) W.  
LATENTITEVA (615) 949-8500  
LATENTITEVA (615) 949-8500



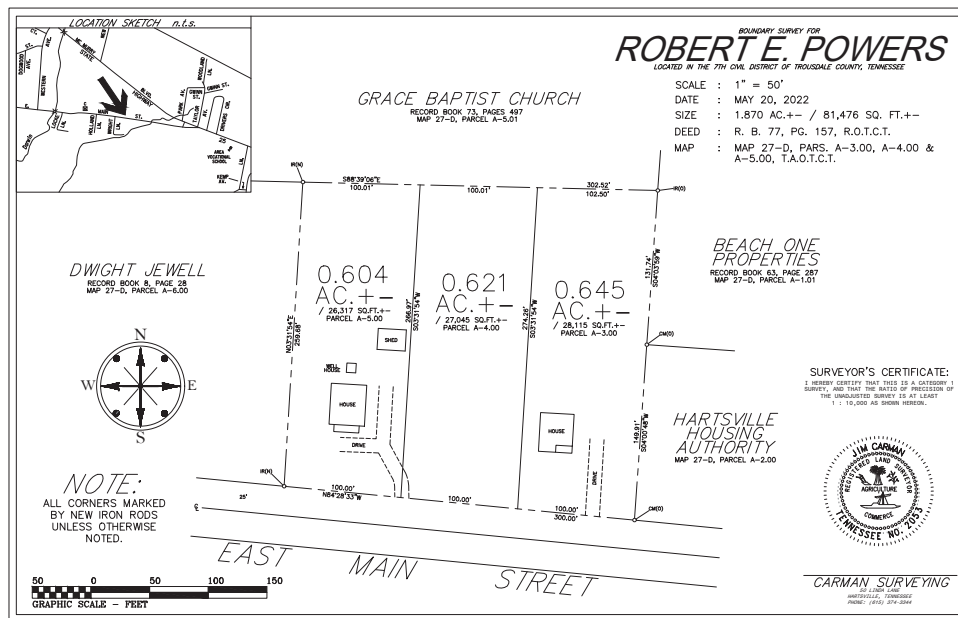
**ROBERT POWERS**  
617 EAST MAIN STREET TOWNHOMES  
HARTSVILLE, TENNESSEE

**GENERAL NOTES**



DESIGNED BY	J.D.C.	DATE	11-21-25
CHECKED BY	J.D.C.	DATE	8/26/2025
REVISIONS	S.N.L.	DATE	
SCALE	NONE		

**G1**



NO.	DATE	DESCRIPTION	BY	CHKD.

**MID - TENN**  
**ENGINEERING CO.**  
 604 S. BIRNBAUM ST. SUITE 200  
 HARTSVILLE, TN 37077

**ROBERT POWERS**  
 617 EAST MAIN STREET TOWNHOMES  
 HARTSVILLE, TENNESSEE

**EXISTING SITE LAYOUT**

**REFERENCE ONLY**

DESIGNED BY	J.D.C.
DRAWN BY	11-21-25
CHECKED BY	J.E.C.
SCALE	AS-NOTED
SHEET	855609

**C1**

### SITE DATA INFORMATION

ZONING:	R-3
AREA OF TRACT:	± 0.65 AC.
TOTAL UNITS:	7 UNITS
EXISTING BUILDING GROSS S.F.	947 S.F.
PROPOSED BUILDING GROSS LOT	5,530 S.F.
# OF PARKING SPACES REQUIRED PER UNIT	2 SPACES
Δ OF PARKING SPACES PROPOSED IN PAVEMENT	15 SPACES
EXISTING IMPERVIOUS SURFACE AREA	2,886 S.F.
TOTAL PROPOSED IMPERVIOUS SURFACE AREA	10,004 S.F.
Δ SIZE OF PARKING SPACES	10' W X 20' L
Δ MAXIMUM BUILDING HEIGHT	15'
Δ PROPOSED BUILDING HEIGHT	15'

### KEYNOTES

SYMBOL	DESCRIPTION	DETAIL
⊙	ASPHALTIC PAVING	1 / C6
⊖	BRUSHED CONCRETE SIDEWALK W/ TURNDOWN	2 / C6
⊕	HANDICAP SYMBOL SIGNAGE	7 / C6
⊗	HANDICAP PARKING SIGNAGE	8 / C6
⊚	4" WIDE PAINTED WHITE LINE	N / A
⊛	PRECAST CONCRETE WHEEL STOP	4 / C6
⊜	EXTERIOR STAIR STEP	N / A

### PROPOSED SITE LEGEND

SYMBOL	DESCRIPTION
---	EXISTING CONTOUR
- - -	PROPOSED CONTOUR
—+—	CENTERLINE OF DITCH
X <sub>100.0</sub>	SPOT ELEVATION - FINISHED GRADE
X <sub>100.0 TC</sub>	SPOT ELEVATION - TOP OF CURB / CONC.
X <sub>100.0 BC</sub>	SPOT ELEVATION - BOTTOM OF CURB / CONC.
X <sub>100.0 TW</sub>	SPOT ELEVATION - TOP OF WALL
X <sub>100.0 BW</sub>	SPOT ELEVATION - BOTTOM OF WALL



Know what's below.  
Call before you dig.

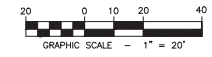
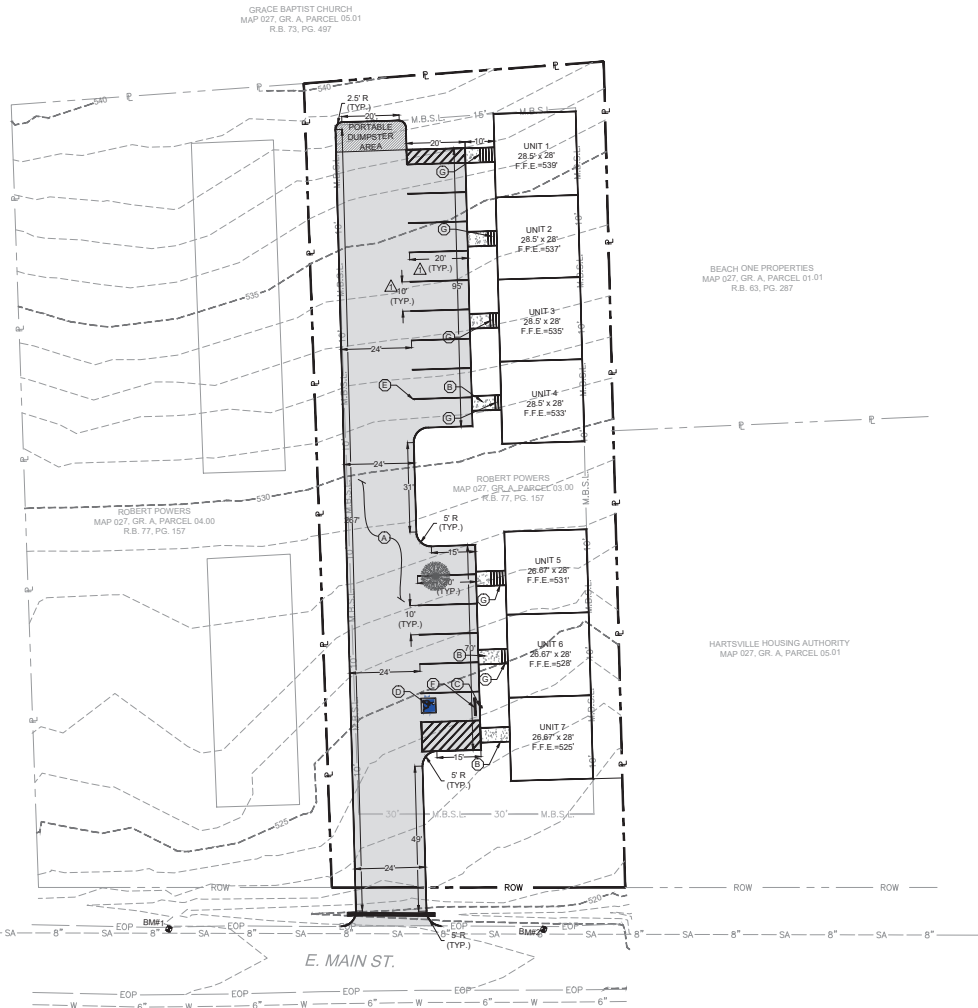
IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT UTILITY COMPANIES THREE WORKING DAYS PRIOR TO ANY CONSTRUCTION. THE LOCATION OF UTILITIES SHOWN IN THESE PLANS IS APPROXIMATE AND POSSIBLY INCOMPLETE.



### BENCHMARK TABLE

BENCHMARK DESCRIPTION	NORTHING	EASTING	ELEVATION
BM#1 PK NAIL IN EOP	748,713.720	1,924,094.24	522.41
BM#2 IRON PROPERTY PIN	748,695.172	1,924,220.66	520.69

NOTES: COORDINATES AND ELEVATIONS ARE SITE SPECIFIC. PROPERTY LINES ARE APPROXIMATE AND HAVE NOT BEEN CERTIFIED BY A LICENSED TENNESSEE SURVEYOR.



NO.	DATE	DESCRIPTION	BY	CHKD.
1	12-2-25	REVISIONS PER HARTVILLE COMMENTS	S.N.L.	J.D.C.
2		REVISIONS PER HARTVILLE COMMENTS	S.N.L.	J.D.C.
3		REVISIONS PER HARTVILLE COMMENTS	S.N.L.	J.D.C.

**MID - TENN ENGINEERING CO.**  
604 BIRNWAY DR. SPASSANAW, TN  
LAWAN@TENNENR.COM

**ROBERT POWERS**  
617 EAST MAIN STREET TOWNHOMES  
HARTSVILLE, TENNESSEE

**PROPOSED SITE LAYOUT**



DESIGNED BY:	J.D.C.
DRAWN BY:	S.N.L.
CHECKED BY:	S.N.L.
DATE:	11-21-25
SCALE:	AS-NOTED
PROJECT NO.:	856609

SHEET **C2**

**STORMWATER CALCULATIONS (DETENTION PONDS)**

**PRE-DEVELOPMENT SITE STORM WATER RUNOFF CALCULATIONS:**  
(S.C.S. METHOD, BASED ON 25-YEAR STORM EVENT)

TYPE II, 24-HOUR STORM DURATION  
24-HOUR RAINFALL DEPTH = 5.94 IN.  
DRAINAGE AREA = 0.64 ACRES  
HYDROLOGIC SOIL GROUP = C  
WEIGHTED CURVE NO., CN = 61  
STORM RUNOFF FLOW, Q = 2.82 CFS (1.51 CFS PER POND)

**POST-DEVELOPMENT SITE STORM WATER RUNOFF CALCULATIONS: POND 1**  
(S.C.S. METHOD, BASED ON 25-YEAR STORM EVENT)

TYPE II, 24-HOUR STORM DURATION  
24-HOUR RAINFALL DEPTH = 5.94 IN.  
DRAINAGE AREA = 0.32 ACRES  
HYDROLOGIC SOIL GROUP = C  
WEIGHTED CURVE NO., CN = 90  
STORM RUNOFF FLOW, Q = 2.02 CFS

THEREFORE, STORM RUNOFF TO BE DETAINED ON-SITE = 2.02 CFS  
-1.51 CFS  
MINIMUM FLOW TO BE DETAINED = 0.51 CFS  
ACTUAL FLOW DETAINED = 1.51 CFS

**POST-DEVELOPMENT SITE STORM WATER RUNOFF CALCULATIONS: POND 2**  
(S.C.S. METHOD, BASED ON 25-YEAR STORM EVENT)

TYPE II, 24-HOUR STORM DURATION  
24-HOUR RAINFALL DEPTH = 5.94 IN.  
DRAINAGE AREA = 0.32 ACRES  
HYDROLOGIC SOIL GROUP = C  
WEIGHTED CURVE NO., CN = 90  
STORM RUNOFF FLOW, Q = 2.02 CFS

THEREFORE, STORM RUNOFF TO BE DETAINED ON-SITE = 2.02 CFS  
-1.51 CFS  
MINIMUM FLOW TO BE DETAINED = 0.41 CFS  
ACTUAL FLOW DETAINED = 1.01 CFS

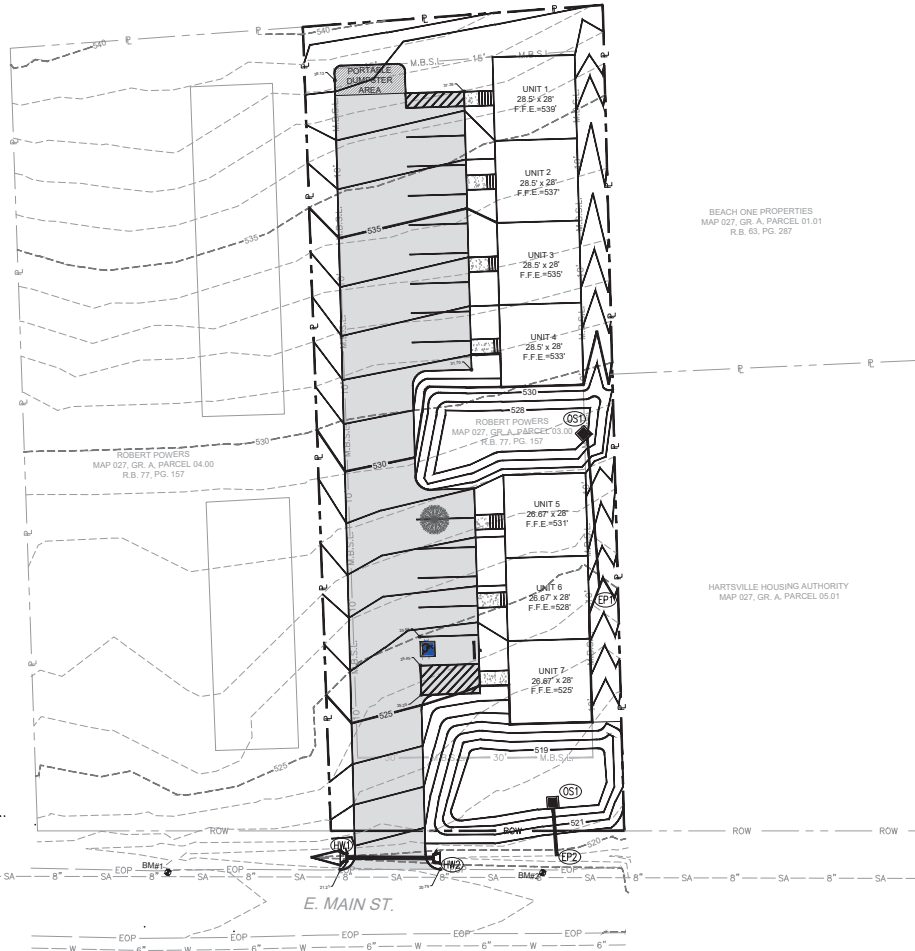
THEREFORE, STORM RUNOFF TO BE DETAINED ON-SITE = 3.64 CFS  
-2.86 CFS  
MINIMUM FLOW TO BE DETAINED = 0.71 CFS  
(TOTAL SITE) ACTUAL FLOW DETAINED = 2.86 CFS

STORMWATER STRUCTURE TABLE									
ID	ELEVATION			STRUCTURE INFORMATION			PIPE		
	GRATE/T.O.C. INV.	MINV.	OUT	ID TO ID	D.A.	C.F.S.	PIPE	SIZE	TYPE
(HW)	519.50	519.20					30 LF.	15" R.C.P.	4" PRECAST HEADWALL
(OS1)	529.80	528.00	527.9	(OS1) (EPI)	.32 AC.	.39	50 LF.	18" SCH. 40	4" X 4" PRECAST BOX
(EPI)			523.00						MITER PIPE TO FIT SLOPE
(OS2)	520.60	519.00	518.90	(OS2) (EP2)	.32 AC.	1.30	14 LF.	12" HD.P.P.E.	4" X 4" PRECAST BOX
(EP2)			523.00						MITER PIPE TO FIT SLOPE

**PROPOSED SITE LEGEND**

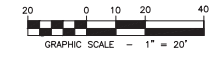
SYMBOL	DESCRIPTION
—96.0	EXISTING CONTOUR
—96.0	PROPOSED CONTOUR
—	CENTERLINE OF DITCH
X <sub>960.0</sub>	SPOT ELEVATION - FINISHED GRADE
X <sub>960.0</sub>	SPOT ELEVATION - TOP OF CURB / CONC.
X <sub>960.0</sub>	SPOT ELEVATION - BOTTOM OF CURB / CONC.
X <sub>960.0</sub>	SPOT ELEVATION - TOP OF WALL
X <sub>960.0</sub>	SPOT ELEVATION - BOTTOM OF WALL

GRACE BAPTIST CHURCH  
MAP 027, GR. A, PARCEL 05.01  
R.B. 73, PG. 497



Know what's below.  
Call before you dig.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT UTILITY COMPANIES THREE WORKING DAYS PRIOR TO ANY CONSTRUCTION. THE LOCATION OF UTILITIES SHOWN IN THESE PLANS IS APPROXIMATE AND POSSIBLY INCOMPLETE.



NO.	DATE	DESCRIPTION	BY	CHK.

**MID - TENN  
ENGINEERING CO.**  
604 B. BIRNEY DR. SUITE 200  
LAWRENCEVILLE, GA 30046

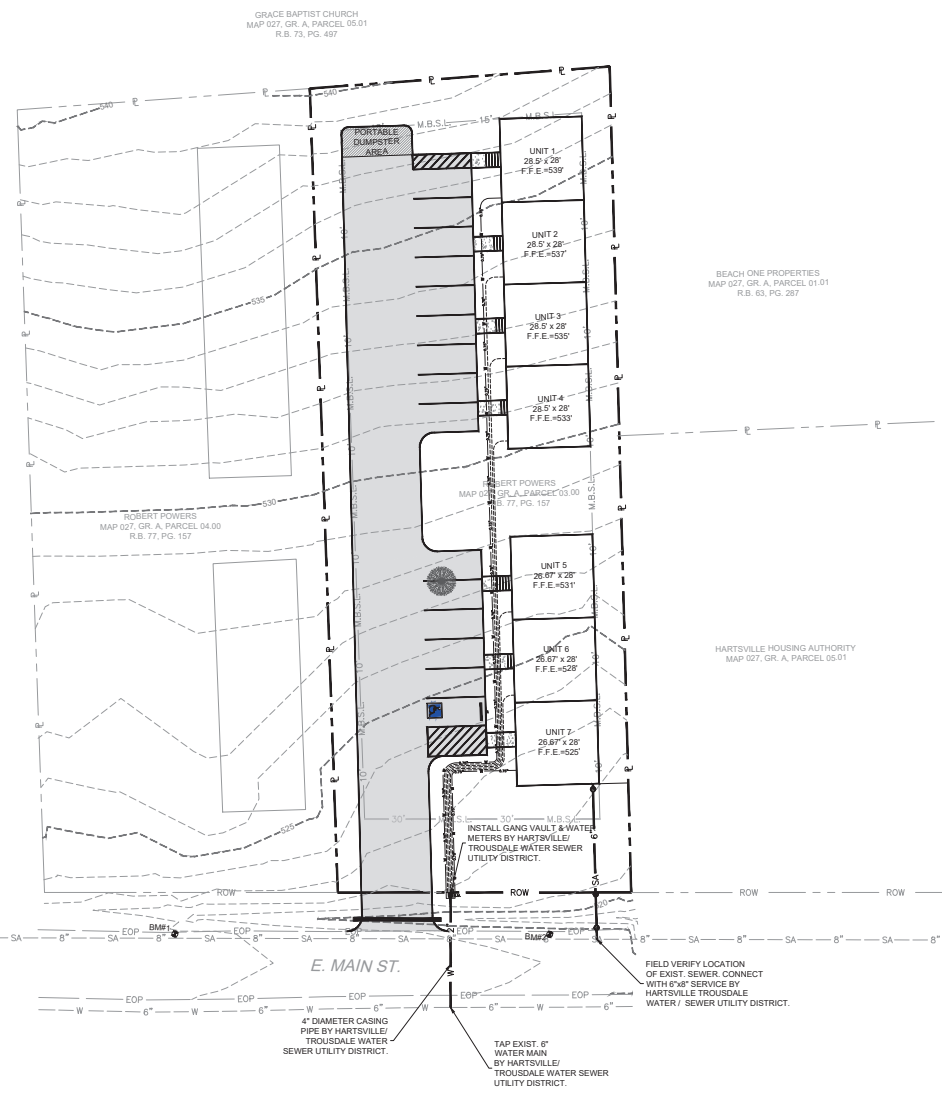
**ROBERT POWERS**  
617 EAST MAIN STREET TOWNHOMES  
HARTSVILLE, TENNESSEE

**PROPOSED GRADING  
PLAN**



DESIGNED BY: J.D.C.  
DATE: 11-21-25  
DRAWN BY: S.N.L.  
SCALE: AS-NOTED  
SHEET: 855609

**C3**

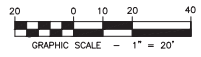


Know what's below  
Call before you dig.

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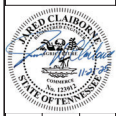


NO.	DATE	DESCRIPTION	BY	CHKD.

**MID - TENN**  
**ENGINEERING CO.**  
604 S. BIRNWAY DR. SUITE 200  
LEWISTON, TN 37088

**ROBERT POWERS**  
**617 EAST MAIN STREET TOWNHOMES**  
**HARTSVILLE, TENNESSEE**

**PROPOSED SITE**  
**UTILITIES PLAN**

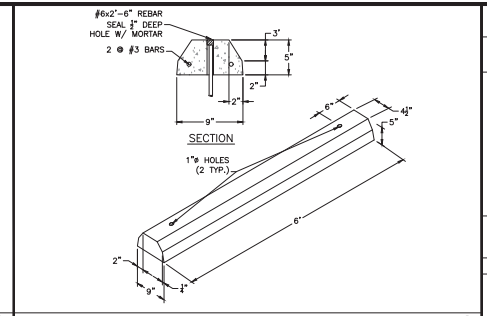
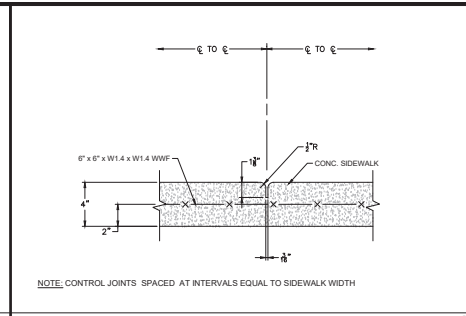
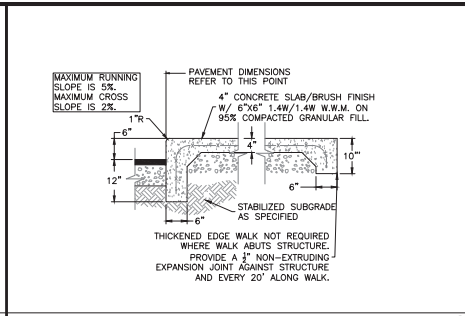
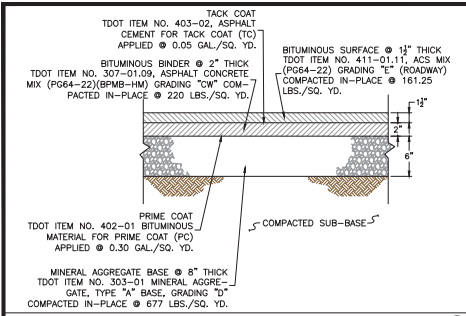


DESIGNED BY: S.N.L.  
DRAWN BY: S.N.L.  
SCALE: AS-NOTED

CHECKED BY: J.C.C.  
DATE: 11-21-25  
PROJECT: 855609

SHEET  
**C4**



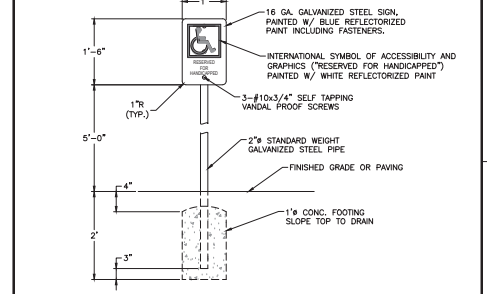
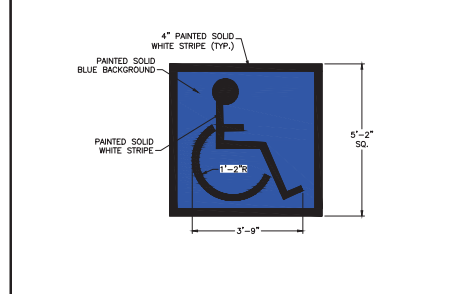
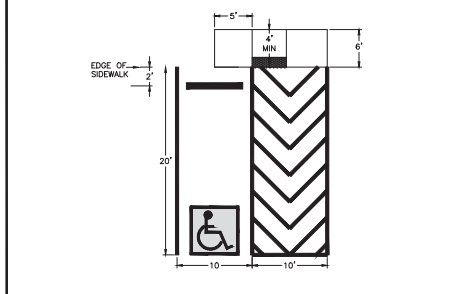
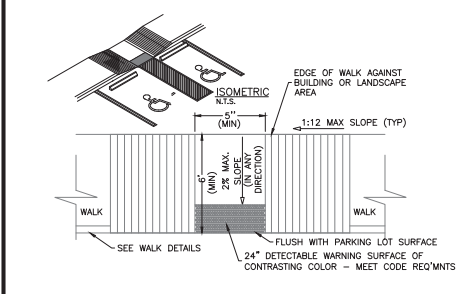


DETAIL ASPHALTIC PAVING SCALE: N.T.S. ①

DETAIL BRUSHED CONCRETE SIDEWALK SCALE: N.T.S. ②

DETAIL SIDEWALK CONTROL JOINT SCALE: N.T.S. ③

DETAIL PRE-CAST CONCRETE WHEEL STOP SCALE: N.T.S. ④

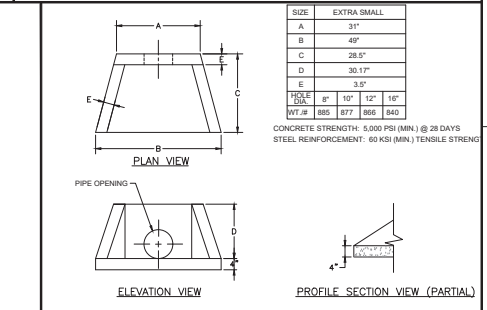
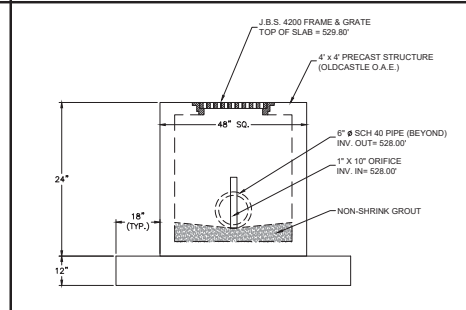
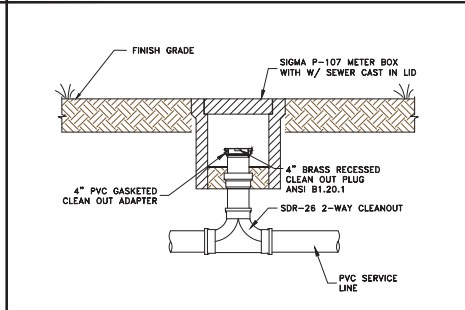
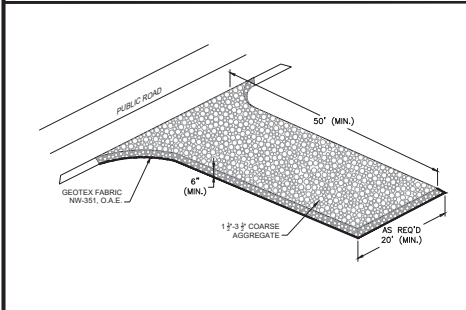


DETAIL ACCESSIBLE PARKING RAMP SCALE: N.T.S. ⑤

DETAIL HANDICAP PARKING LAYOUT SCALE: N.T.S. ⑥

DETAIL HANDICAP PARKING SIGNAGE SCALE: N.T.S. ⑦

DETAIL HANDICAP PARKING SIGNAGE SCALE: N.T.S. ⑧

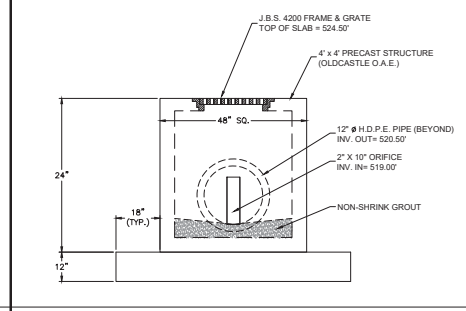
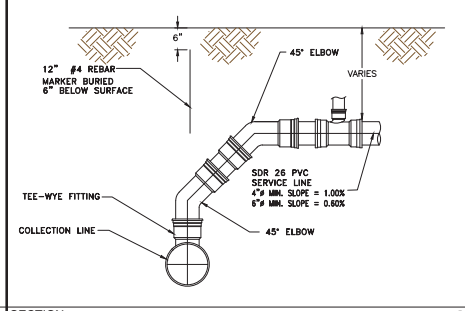
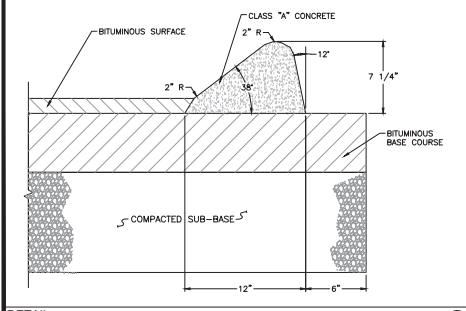


DETAIL TEMPORARY CONSTRUCTION ENTRANCE SCALE: N.T.S. ⑨

DETAIL TYPICAL NON-TRAFFIC CLEAN-OUT ASSEMBLY SCALE: N.T.S. ⑩

DETAIL OUTLET CONTROL STRUCTURE #1 SCALE: N.T.S. ⑪

DETAIL STANDARD PRECAST HEADWALL SCALE: N.T.S. ⑫



DETAIL EXTRUDED 6" MOUNTABLE CONCRETE CURB SCALE: N.T.S. ⑬

SECTION INSTALLED GRAVITY SERVICE DETAIL SCALE: N.T.S. ⑭

DETAIL OUTLET CONTROL STRUCTURE #2 SCALE: N.T.S. ⑮

NO.	DATE	DESCRIPTION	BY	CHK.

MID - TENN  
ENGINEERING CO.  
66 S. HIGHWAY 522, HARTSVILLE, TN 37057  
LATENT DETAILS (10/19/2010)



ROBERT POWERS  
617 EAST MAIN STREET TOWNHOMES  
HARTSVILLE, TENNESSEE

STANDARD SITE DETAILS



DESIGNER	J.D.C.	DATE	11-21-25	SCALE	AS-NOTED
DRAWN	J.D.C.	DATE	11-21-25	SCALE	AS-NOTED
CHECKED	J.D.C.	DATE	11-21-25	SCALE	AS-NOTED
PROJECT NO.	855909				

C6



# Planning/BZA Permit Application

Date: 11/21/2025  
Permit #: 25375

## Applicant / Owner

Applicant Name: Stephen Lancaster  
Address: [REDACTED]  
City, State, Zip: [REDACTED]  
Phone: [REDACTED]  
Email: [REDACTED]  
Type: [REDACTED]

Owner Name: Robert Powers  
Address: 613 East Main Street  
City, State, Zip: Harstville, TN, 37083  
Phone: [REDACTED]  
Email: [REDACTED]

## Project

Permit Type: Zoning - Planning / BZA  
Status: Pending  
Location:  
Tax Map #: 027D  
Group: C  
Parcel: 5.00  
Record/Deed: r.b. 77, pg. 157

Subdivision:  
Phase:  
Lot #:  
Request Type: Site Plan  
Water Source: Hartsville / Trousdale Water Dept.  
Sewer / Septic: Sewer  
Zoning District: R3

Project Description: Site Plan - Townhomes

I do hereby certify that the information contained herein is true and correct.

[REDACTED]

Stephen Lancaster

11/21/2025

Date

# ROBERT POWERS

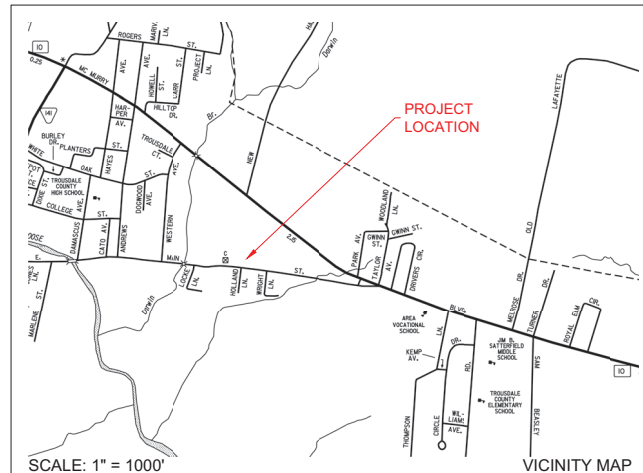
# 613 EAST MAIN STREET TOWNHOMES

HARTSVILLE, TENNESSEE  
 TAX MAP 027D, GROUP A, PARCEL 005.00  
 EAST MAIN STREET

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PROPOSED LANDSCAPE PLAN	C5
STANDARD SITE DETAILS	C6



### SITE DATA

OWNER / APPLICANT:	ROBERT POWERS 784 MCMURRY BLVD. E. HARTSVILLE, TN 37074
ZONING:	R-3
AREA OF TRACT:	0.80± AC.
TAX MAP ID:	027D
PROPOSED USE OF STRUCTURES:	TOWN HOMES
LAND DISTURBANCE:	0.50± AC.
WATER:	PUBLIC, HTWSUD
WASTE:	PUBLIC, HTWSUD
EXISTING BUILDING GROSS:	1,057 S.F.
PROPOSED BUILDING GROSS:	5,432 S.F.
EXISTING IMPERVIOUS SURFACE AREA:	2,680 S.F.
PROPOSED IMPERVIOUS SURFACE AREA:	9,442 S.F.
△ MAXIMUM BUILDING HEIGHT	15'
△ PROPOSED BUILDING HEIGHT	15'

\*SITE PLAN APPROVAL WILL CEASE TO BE EFFECTIVE AFTER 1 YEAR AFTER DATE OF APPROVAL IF A BUILDING PERMIT HAS NOT BEEN ISSUED OR UNLESS THE SITE IS RE-APPROVED.



**MID - TENN  
 ENGINEERING CO.**  
 648 HWY. 52 BYPASS WEST  
 LAFAYETTE, TN (615) 666-2365

NO.	DATE	DESCRIPTION	BY	CHKD
1	11-21-25	REVISIONS PER HARSALLE COMMENTS	S.N.L.	J.D.C.

**MID - TENN  
 ENGINEERING CO.**  
 LAFAYETTE, TN 37033

ROBERT POWERS  
 613 EAST MAIN STREET TOWNHOMES  
 HARTSVILLE, TENNESSEE

COVER SHEET



DESIGNED BY	J.D.C.
CHECKED BY	
DATE	11-21-25
SCALE	AS-NOTED
PROJECT NO.	859508

T1

**GENERAL NOTES**

- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS, REFERENCED DOCUMENTS, AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- THESE PLANS ARE BASED ON INFORMATION PROVIDED TO OUR OFFICE AT THE TIME OF PLAN PREPARATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY OUR OFFICE IF ACTUAL SITE CONDITIONS DIFFER FROM THAT SHOWN ON THE PLAN, OR IF THE PROPOSED WORK WOULD BE INHIBITED BY ANY OTHER SITE FEATURES.
- ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OF GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL / BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY / EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY LOCATIONS AND SITE LIGHTING ELECTRICAL DESIGN AND LAYOUT.
- LOCATIONS OF PROPERTY LINES & UNDERGROUND UTILITIES POSSIBLY INCOMPLETE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATION & ELEVATION OF ALL EXISTING UNDERGROUND UTILITIES BEFORE MAKING TIES TO THEM.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL TOWN, COUNTY, STATE AND FEDERAL LAWS AND APPLICABLE CODES. CONTRACTOR SHALL PROPERLY REMOVE AND DISPOSE OF HAZARDOUS / UNSUITABLE MATERIAL OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE CODES AND LAWS.
- THE CONTRACTOR SHALL OBTAIN & POST ALL NECESSARY PERMITS.
- THE CONTRACTOR SHALL PROVIDE SAFETY MEASURES, THROUGHOUT THE FULL TERM OF THE PROJECT, IN STRICT ACCORDANCE WITH THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS AS PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.
- A COPY OF THE APPROVED PROJECT PLANS SHALL REMAIN WITH THE CONTRACTOR ON SITE AT ALL TIMES DURING THE PROJECT.
- THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS / MEANS FOR COMPLETION OF THE WORK DEPICTED ON THESE PLANS IF ANY CONFLICTS / SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR RESPONSIBLE FOR DETERMINING METHOD / MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND NOTIFICATION OF OWNER AND ENGINEER OF RECORD WHEN A CONFLICT IS IDENTIFIED.
- NEITHER THE PROFESSIONAL ACTIVITIES OF MID-TENN ENGINEERING COMPANY NOR THE PRESENCE OF MID-TENN ENGINEERING COMPANY OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION SITE SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THESE PLANS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. MID-TENN ENGINEERING COMPANY AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. MID-TENN ENGINEERING COMPANY SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE MADE ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.

**GRADING GENERAL NOTES**

- CONTOURS SHOWN ARE FOR FINISHED PAVING, SIDEWALK, SLAB, OR GROUND. ADJUSTMENT TO SUBGRADE IS THE CONTRACTOR'S RESPONSIBILITY.
- PROOF ROLL THE SITE WITH A TANDEM AXLE LOADED DUMP TRUCK IN TWO DIRECTIONS. ANY AREAS WHICH ARE NOTED TO RUT OR PUMP EXCESSIVELY SHALL BE UNDERCUT AND BACKFILLED WITH COMPACTED ENGINEERED FILL ACCORDING TO THE COMPACTION REQUIREMENTS BELOW.
- IF DURING THE OVERLOT GRADING PROCESS, CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE AN UNIDENTIFIED SOILS SITUATION IS PRESENT, THE GEOTECHNICAL ENGINEER AND OWNERS CIVIL ENGINEER CONSULTANT (MID-TENN ENGINEERING COMPANY) SHALL BE CONTACTED FOR RECOMMENDATIONS.
- UNLESS OTHERWISE SHOWN, NO PROPOSED SLOPE SHALL EXCEED TWO (2) HORIZONTAL TO ONE (1) VERTICAL. ALL SLOPED AREAS MUST BE PROTECTED FROM EROSION.
- SPOT ELEVATIONS SHALL TAKE PRECEDENCE OVER CONTOURS AND SLOPES SHOWN. THE CONTRACTOR SHALL NOTIFY THE OWNERS ENGINEER OF SPOT ELEVATIONS THAT DO NOT APPEAR TO BE CONSISTENT WITH THE CONTOURS AND SLOPES. SPOT ELEVATIONS AND SPECIFIC PROFILE DESIGN SHALL BE USED FOR SETTING ELEVATIONS OF CURB, GUTTER, AND UTILITIES.
- CONTRACTOR SHALL USE BENCHMARKS AND DATUMS SHOWN HEREON TO SET PROJECT BENCHMARK(S), BY RUNNING A LEVEL LOOP BETWEEN AT LEAST TWO BENCHMARKS, AND SHALL PROVIDE SURVEY NOTES OF SUCH TO PROJECT ENGINEER PRIOR TO COMMENCING CONSTRUCTION.
- ALL UTILITIES (MANHOLES, VALVE COVERS, CLEANOUTS, VAULTS, BOXES, ETC.) SHALL BE ADJUSTED TO FINAL GRADE PRIOR TO FINAL LIFT OF ASPHALT.
- SPOT ELEVATIONS REPRESENT FLOW LINE OR TOP OF ASPHALT UNLESS OTHERWISE NOTED.
- EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- EXISTING GRADE CONTOUR INTERVALS SHOWN AT ONE (2) FOOT INTERVALS.
- PROPOSED GRADE CONTOUR INTERVALS SHOWN AT ONE (2) FOOT INTERVALS.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
- ALL SITE CONCRETE TO HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 3000 PSI.
- PAVEMENT OPERATION TO COMMENCE AS SOON AS POSSIBLE AFTER COMPLETION OF FINAL GRADING.

**ADA GENERAL NOTES**

- ALL HANDICAP PARKING STALLS SHALL BE PAINTED AND SIGNED IN STRICT ACCORDANCE WITH CURRENT ADA STANDARDS AND LOCAL REGULATIONS.
- ALL HANDICAP RAMPS AND ACCESSIBLE RAMPS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH CURRENT ADA STANDARDS AND LOCAL REGULATIONS.
- THE FOLLOWING CRITERIA SHALL APPLY TO ALL CONSTRUCTION WITHIN THE LIMITS OF THIS PROJECT.
  - THE MAXIMUM CROSS SLOPE OF ANY SIDEWALK, PEDESTRIAN ACCESS OR STORE FRONT SHALL NOT EXCEED 2%. THE SLOPE SHALL BE MEASURED PERPENDICULAR TO THE DIRECTION OF TRAVEL.
  - THE GRADES WITHIN HANDICAP PARKING STALLS SHALL NOT EXCEED 2% MEASURED IN ANY DIRECTION. HANDICAP PARKING STALLS SHALL HAVE AN ACCESSIBLE ROUTE, AS NOTED BELOW, TO THE BUILDING ENTRY AS SHOWN ON THE PLANS.
  - ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5%. ACCESSIBLE ROUTES EXCEEDING 5% SHALL BE CONSTRUCTED WITH RAMPS AND HANDRAILS HAVING A MAXIMUM SLOPE OF 8.33% FOR A MAXIMUM RISE OF THIRTY (30) INCHES. A 5-FOOT BY 5-FOOT LANDING PAD (WITH MAXIMUM SLOPE OF 2% IN ANY DIRECTION) SHALL BE CONSTRUCTED AT THE BOTTOM AND TOP OF ALL RAMPS.
- ALL SITE DIRECTIONAL SIGNS SHALL HAVE A MINIMUM CLEAR DISTANCE OF SEVEN (7) FEET AS MEASURED FROM THE GROUND TO THE BOTTOM OF THE LOWEST SIGN.
- ALL ACCESSIBLE ROUTES THAT CROSS A VEHICULAR DRIVE SHALL CONTAIN DETECTABLE WARNING IN STRICT ACCORDANCE WITH CURRENT ADA STANDARDS AND LOCAL REGULATIONS WHETHER OR NOT A RAMP IS NEEDED.
- THE MAXIMUM VERTICAL GRADE DIFFERENTIAL BETWEEN SURFACES ALONG AN ACCESSIBLE ROUTE SHALL BE A MAXIMUM OF 1/4 INCH.
- THE CONTRACTOR SHALL HAVE ALL CONCRETE FORMS THAT ARE PART OF ANY DESIGNATED ACCESSIBLE ROUTE, STORE FRONT, HANDICAP PARKING SPACE OR RAMP CHECKED BY OWNERS ENGINEER OF RECORD TO VERIFY GRADES AND CROSS SLOPES PRIOR TO PLACEMENT OF ANY CONCRETE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL COSTS AND DAMAGES FOR IMPROVEMENTS INSTALLED OR OTHERWISE IMPACTED BY WORK NOT APPROVED BY THE OWNERS ENGINEER.

**UTILITY GENERAL NOTES**

- ALL INSTALLATION AND MATERIALS SHALL, AT A MINIMUM, CONFORM TO HARTSVILLE/TROUSDALE WATER SEWER UTILITY DISTRICT STANDARDS, SPECIFICATIONS, PLANS, AND DETAILS.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- ALL NECESSARY INSPECTIONS AND / OR CERTIFICATIONS REQUIRED BY CODES AND / OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- UNDERGROUND UTILITIES SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- CONTRACTOR SHALL NOTIFY THE UTILITY BEFORE CONNECTING TO EXISTING UTILITY.
- EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
- ALL UTILITY PIPES SHALL BE BEDDED AND BACKFILLED IN ACCORDANCE WITH THE DETAIL DRAWINGS.
- TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS. ANY EXISTING MANHOLES IN UNPAVED AREAS SHALL BE FOUR (4) INCHES ABOVE FINISHED GROUND ELEVATIONS WITH WATER TIGHT LIDS.
- ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 3000 PSI.
- SITE WORK CONTRACTOR SHALL BE RESPONSIBLE FOR ALL IMPROVEMENTS TO WITHIN FIVE (5) FEET OF PROPOSED BUILDING UNLESS SPECIFIED OTHERWISE. SITE WORK CONTRACTOR SHALL COORDINATE WITH BUILDING CONTRACTOR ON ALL UTILITY BUILDING ENTRANCE LOCATIONS.
- DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
- CONTRACTOR SHALL VERIFY UTILITY LOCATIONS PRIOR TO SUBSURFACE WORK FOR LIGHT POLES, BORING, ETC. AND SIMILAR STRUCTURES.
- ALL UTILITIES SHALL BE TESTED TO ENSURE PROPER INSTALLATION.

**SANITARY SEWER GENERAL NOTES**

- ALL GRAVITY SANITARY SEWER PIPE SHALL MEET SRR28 PVC REQUIREMENTS. SEWER LINE CONSTRUCTION AND MATERIALS SHALL CONFORM TO ASTM STANDARDS AND SPECIFICATIONS.
- DISTANCES FOR SANITARY SEWER ARE THE HORIZONTAL DISTANCES FROM CENTER OF MANHOLE TO CENTER OF MANHOLE. THEREFORE, DISTANCES SHOWN ON PLANS ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT.
- RIM ELEVATIONS SHOWN ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATION. PIPELINE CONTRACTOR SHALL USE PRECAST CONCRETE ADJUSTMENT RINGS, GROUT, AND STEEL SHIMS TO ADJUST THE MANHOLE FRAME TO THE REQUIRED FINAL GRADE IN ACCORDANCE WITH THE PLANS. ALL FRAME SHALL BE ADJUSTED TO FINAL GRADE PRIOR TO THE FINAL LIFT OF ASPHALT.
- ALL SANITARY SEWER MAIN TESTING SHALL BE IN ACCORDANCE WITH UTILITY COMPANY STANDARDS. ALL TEST RESULTS SHALL BE PROVIDED TO THE OWNERS ENGINEER, THE OWNER, AND THE GOVERNING AUTHORITY PRIOR TO BEGINNING SERVICE.
- COMPACTION OF ALL TRENCHES WITHIN PROJECT SITE MUST BE ATTAINED AND COMPACTION RESULTS SUBMITTED THE ENGINEER PRIOR TO FINAL ACCEPTANCE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING STRUCTURES AND IMPROVEMENTS DURING INSTALLATION OF SANITARY SEWER SYSTEM.
- CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR ALL CONNECTIONS TO BUILDING SERVICES AND VERIFY LOCATIONS AS SHOWN PRIOR TO CONSTRUCTION.
- SANITARY SEWER STRUCTURES AND PIPES SHALL BE BEDDED IN ACCORDANCE WITH DETAILS ON PLANS.
- ALL SANITARY SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH ASPHALT, AND SHALL HAVE TRAFFIC BEARING CASTINGS. MANHOLES IN UNPAVED AREAS SHALL BE FOUR (4) INCHES ABOVE FINISH GROUND GRADING. ALL STORM STRUCTURE LIDS SHALL BE BITUMINOUS COATED AND LABELED "SANITARY SEWER".

**EROSION PREVENTION AND SEDIMENT CONTROLS**

- DURING CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE PROPER SOIL EROSION MEASURES FOR PROTECTION OF ALL ADJOINING ROADS, LANDS, AND STREAMS. REFER TO S.C.S. MANUAL "RAINWATER AND LAND DEVELOPMENT" AND T.D.E.C. "EROSION & SEDIMENT CONTROL HANDBOOK" FOR REQUIREMENTS.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING AND GRUBBING. THE CONTRACTOR SHALL PROVIDE SEDIMENT CONTROL AT ALL POINTS WHERE STORM WATER LEAVES THE LIMITS OF THE PROJECT, ALL POINTS WHERE STORM WATER ENTERS A STREAM THAT TRAVERSES THE PROJECT, AND ALL POINTS WHERE STORM WATER ENTERS PORTIONS OF COMPLETED UNDERGROUND PIPING.
- THE CONSTRUCTION BMP'S WITHIN THESE PLANS REPRESENT THE MINIMUM REQUIRED ONSITE. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ONSITE BMP'S AS THE PROJECT PROGRESSES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL TEMPORARY AND PERMANENT CONTROL PRACTICES TO ENSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. SHOULD A STRUCTURE OR FEATURE BECOME DAMAGED, THE CONTRACTOR SHALL REPAIR OR REPLACE AT NO ADDITIONAL COST TO THE OWNER.

NO.	DATE	DESCRIPTION	BY	C/D

**MID - TENN  
ENGINEERING CO.**  
608 HERRING STREET, SUITE 100 W.  
HARTSVILLE, TN 37077  
LAT 35.911711 N, LONG 86.592500 W



**ROBERT POWERS**  
613 EAST MAIN STREET TOWNHOMES  
HARTSVILLE, TENNESSEE

**GENERAL NOTES**



DESIGNED BY:	J.D.C.
DRAWN BY:	S.N.L.
CHECKED BY:	S.N.L.
DATE:	11-21-25
SCALE:	NONE
PROJECT NO.:	88950B

**G1**



### SITE DATA INFORMATION

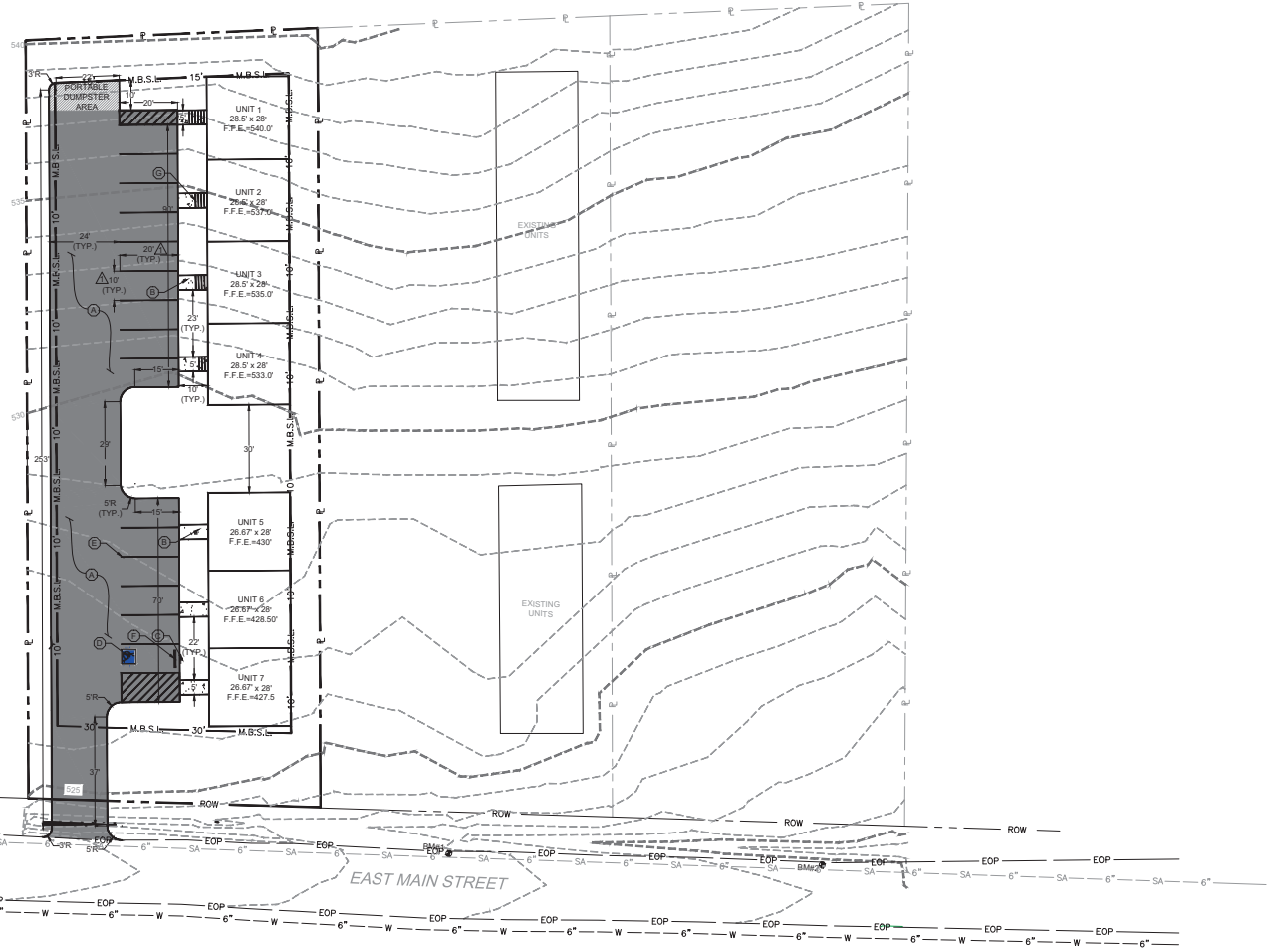
ZONING: R-3  
 AREA OF TRACT: ± 0.60 AC.  
 TOTAL UNITS: 7 UNITS  
 EXISTING BUILDING GROSS S.F.: 1,067 S.F.  
 PROPOSED BUILDING GROSS LOT: 6,394 S.F.  
 # OF PARKING SPACES REQUIRED PER UNIT: 2 SPACES  
 # OF PARKING SPACES PROPOSED IN PAVEMENT: 15 SPACES  
 EXISTING IMPERVIOUS SURFACE AREA: 2,680 S.F.  
 TOTAL PROPOSED IMPERVIOUS SURFACE AREA: 14,874 S.F.  
 SIZE OF PARKING SPACES: 10' W X 20' L  
 MAXIMUM BUILDING HEIGHT: 15'  
 PROPOSED BUILDING HEIGHT: 15'

### KEYNOTES

SYMBOL	DESCRIPTION	DETAIL
⊙	ASPHALTIC PAVING	1 / C6
⊙	BRUSHED CONCRETE SIDEWALK W/ TURNDOWN	2 / C6
⊙	HANDICAP SYMBOL SIGNAGE	7 / C6
⊙	HANDICAP PARKING SIGNAGE	8 / C6
⊙	4" WIDE PAINTED WHITE LINE	N / A
⊙	PRECAST CONCRETE WHEEL STOP	4 / C6
⊙	EXTERIOR STAIR STEP	N / A

### PROPOSED SITE LEGEND

SYMBOL	DESCRIPTION
— G.D.	EXISTING CONTOUR
— S.D.	PROPOSED CONTOUR
—	CENTERLINE OF DITCH
X <sub>MSL</sub>	SPOT ELEVATION - FINISHED GRADE
X <sub>MSL TC</sub>	SPOT ELEVATION - TOP OF CURB / CONC.
X <sub>MSL BC</sub>	SPOT ELEVATION - BOTTOM OF CURB / CONC.
X <sub>MSL TW</sub>	SPOT ELEVATION - TOP OF WALL
X <sub>MSL BW</sub>	SPOT ELEVATION - BOTTOM OF WALL



Know what's below.  
Call before you dig.

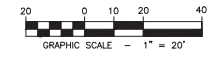
IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT UTILITY COMPANIES THREE WORKING DAYS PRIOR TO ANY CONSTRUCTION. THE LOCATION OF UTILITIES SHOWN IN THESE PLANS IS APPROXIMATE AND POSSIBLY INCOMPLETE.

EXIST FIRE HYDRANT  
 FLOW: 650 GPM  
 STATIC: 65 PSI  
 RES: 62 PSI  
 FIRE HYDRANT READINGS PROVIDED BY HTWSUD

### BENCHMARK TABLE

BENCHMARK/DESCRIPTION	NORTHING	EASTING	ELEVATION
BM#1 PK NAIL IN EOP	748,713.720	1,924,094.24	522.41
BM#2 IRON PROPERTY PIN	748,695.172	1,924,220.66	520.69

NOTES: COORDINATES AND ELEVATIONS ARE SITE SPECIFIC. PROPERTY LINES ARE APPROXIMATE AND HAVE NOT BEEN CERTIFIED BY A LICENSED TENNESSEE SURVEYOR.



NO.	DATE	DESCRIPTION	BY	CHKD.
1	12-2-25	REVISIONS PER HARTVILLE COMMENTS	S.N.L.	J.D.C.

MID - TENN  
 ENGINEERING CO.  
 604 HURDWAY DR SUITE 200  
 HARTVILLE, TN 37936

ROBERT POWERS  
 613 EAST MAIN STREET TOWNHOMES  
 HARTSVILLE, TENNESSEE

PROPOSED SITE  
 LAYOUT



DESIGNED BY:	J.D.C.
DRAWN BY:	S.N.L.
CHECKED BY:	S.N.L.
DATE:	11-21-25
SCALE:	AS-NOTED
PROJECT NO.:	855908

SHEET  
**C2**

**STORMWATER CALCULATIONS (DETENTION POND)**

PRE-DEVELOPMENT SITE STORM WATER RUNOFF CALCULATIONS:  
(S.C.S. METHOD, BASED ON 25-YEAR STORM EVENT)

TYPE II, 24-HOUR STORM DURATION  
24-HOUR RAINFALL DEPTH = 5.94 IN.  
DRAINAGE AREA = 0.60 ACRES  
HYDROLOGIC SOIL GROUP = C  
WEIGHTED CURVE NO., CN = 61  
STORM RUNOFF FLOW, Q = 2.82 CFS (1.41 CFS PER POND)

POST-DEVELOPMENT SITE STORM WATER RUNOFF CALCULATIONS: POND 1  
(S.C.S. METHOD, BASED ON 25-YEAR STORM EVENT)

TYPE II, 24-HOUR STORM DURATION  
24-HOUR RAINFALL DEPTH = 5.94 IN.  
DRAINAGE AREA = 0.30 ACRES  
HYDROLOGIC SOIL GROUP = C  
WEIGHTED CURVE NO., CN = 90  
STORM RUNOFF FLOW, Q = 1.82 CFS

THEREFORE, STORM RUNOFF TO BE DETAINED ON-SITE = 1.82 CFS  
MINIMUM FLOW TO BE DETAINED = 1.41 CFS  
ACTUAL FLOW DETAINED = 1.41 CFS

POST-DEVELOPMENT SITE STORM WATER RUNOFF CALCULATIONS: POND 2  
(S.C.S. METHOD, BASED ON 25-YEAR STORM EVENT)

TYPE II, 24-HOUR STORM DURATION  
24-HOUR RAINFALL DEPTH = 5.94 IN.  
DRAINAGE AREA = 0.30 ACRES  
HYDROLOGIC SOIL GROUP = B  
WEIGHTED CURVE NO., CN = 90  
STORM RUNOFF FLOW, Q = 1.82 CFS

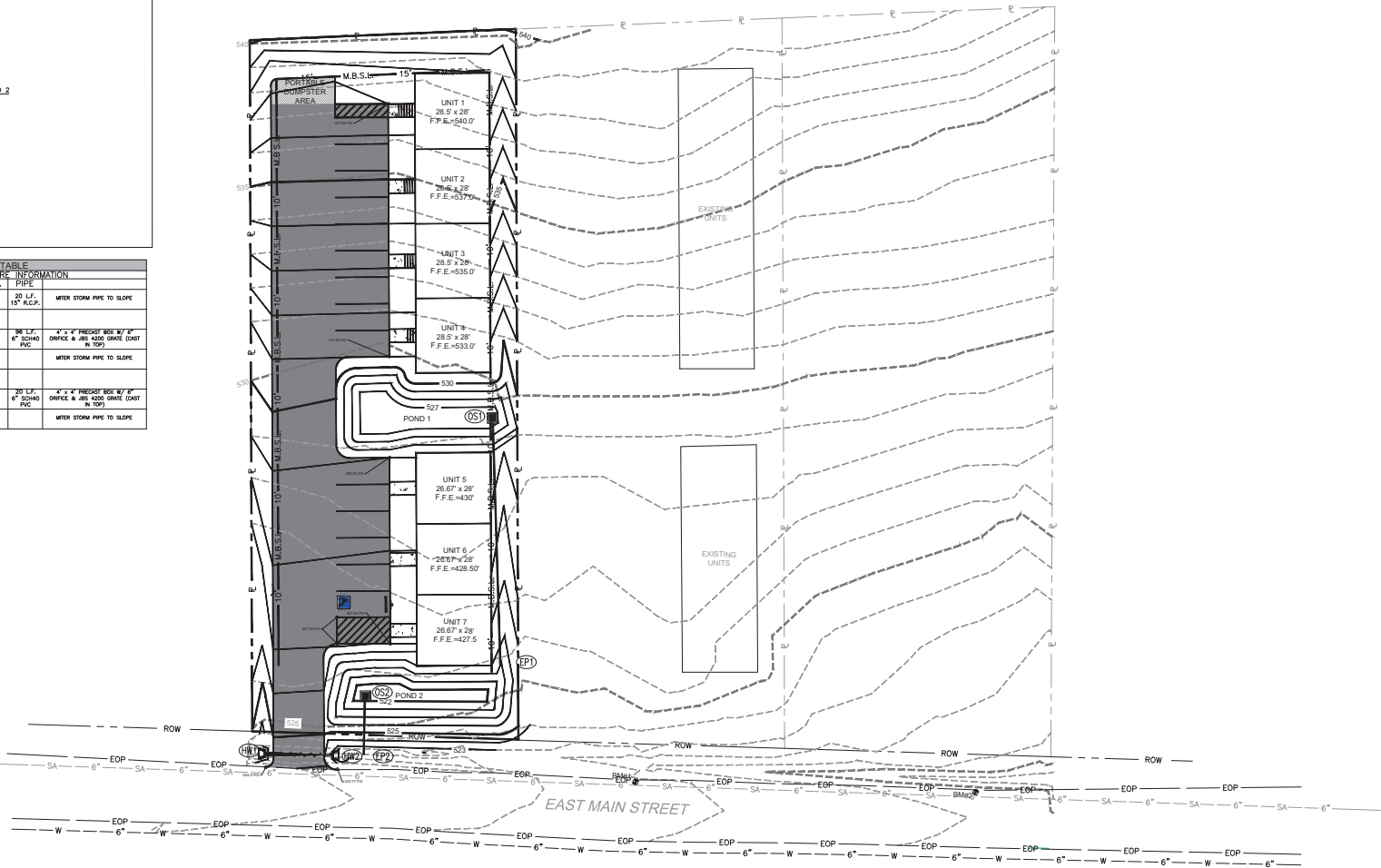
THEREFORE, STORM RUNOFF TO BE DETAINED ON-SITE = 1.82 CFS  
MINIMUM FLOW TO BE DETAINED = 0.41 CFS  
ACTUAL FLOW DETAINED = 1.45 CFS

THEREFORE, STORM RUNOFF TO BE DETAINED ON-SITE = 3.64 CFS  
MINIMUM FLOW TO BE DETAINED = 0.81 CFS  
(TOTAL SITE) ACTUAL FLOW DETAINED = 2.86 CFS

STORMWATER STRUCTURE TABLE									
ID	ELEVATION		STRUCTURE		INFORMATION		PIPE		
	GRATE/T.O. INV.	INW. OUT	ID	OD	D.A.	C.F.S.	PIPE	LENGTH	DEPTH
(HW)	421.70	421.00	(HW)	(HW)	1.00	3.88	20 L.F. 15" R.C.P.		WATER STORM PIPE TO SLOPE
(OS)	528.75	527.00	(OS)	(EP)	0.30	1.82	12" L.F. 12" R.C.P.	1.2' * PRECAST BOX W/ 6" CURBS & 48" HIGH GRADE (GAT IN TOP)	WATER STORM PIPE TO SLOPE
		525.00							
(OS)	524.50	522.00	(OS)	(EP)	0.30	1.82	12" L.F. 12" R.C.P.	1.2' * PRECAST BOX W/ 6" CURBS & 48" HIGH GRADE (GAT IN TOP)	WATER STORM PIPE TO SLOPE
		521.80							

**PROPOSED SITE LEGEND**

SYMBOL	DESCRIPTION
—96C	EXISTING CONTOUR
—96D	PROPOSED CONTOUR
—	CENTERLINE OF DITCH
x <sub>96.0</sub>	SPOT ELEVATION - FINISHED GRADE
x <sub>96.0 TC</sub>	SPOT ELEVATION - TOP OF CURB / CONC.
x <sub>96.0 BC</sub>	SPOT ELEVATION - BOTTOM OF CURB / CONC.
x <sub>96.0 TW</sub>	SPOT ELEVATION - TOP OF WALL
x <sub>96.0 BW</sub>	SPOT ELEVATION - BOTTOM OF WALL



Know what's below.  
Call before you dig.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT UTILITY COMPANIES THREE WORKING DAYS PRIOR TO ANY CONSTRUCTION. THE LOCATION OF UTILITIES SHOWN IN THESE PLANS IS APPROXIMATE AND POSSIBLY INCOMPLETE.



NO.	DATE	DESCRIPTION	BY	CHKD

MID-TENN  
ENGINEERING CO.  
604 HURDWAY DR. SUITE 200  
LAWRENCEVILLE, GA 30046

ROBERT POWERS  
613 EAST MAIN STREET TOWNHOMES  
HARTSVILLE, TENNESSEE

**PROPOSED GRADING  
PLAN**



DESIGNED BY: J.D.C.  
DATE: 11-21-25  
DRAWN BY: S.N.L.  
SCALE: AS-NOTED  
SHEET: 859908

**C3**

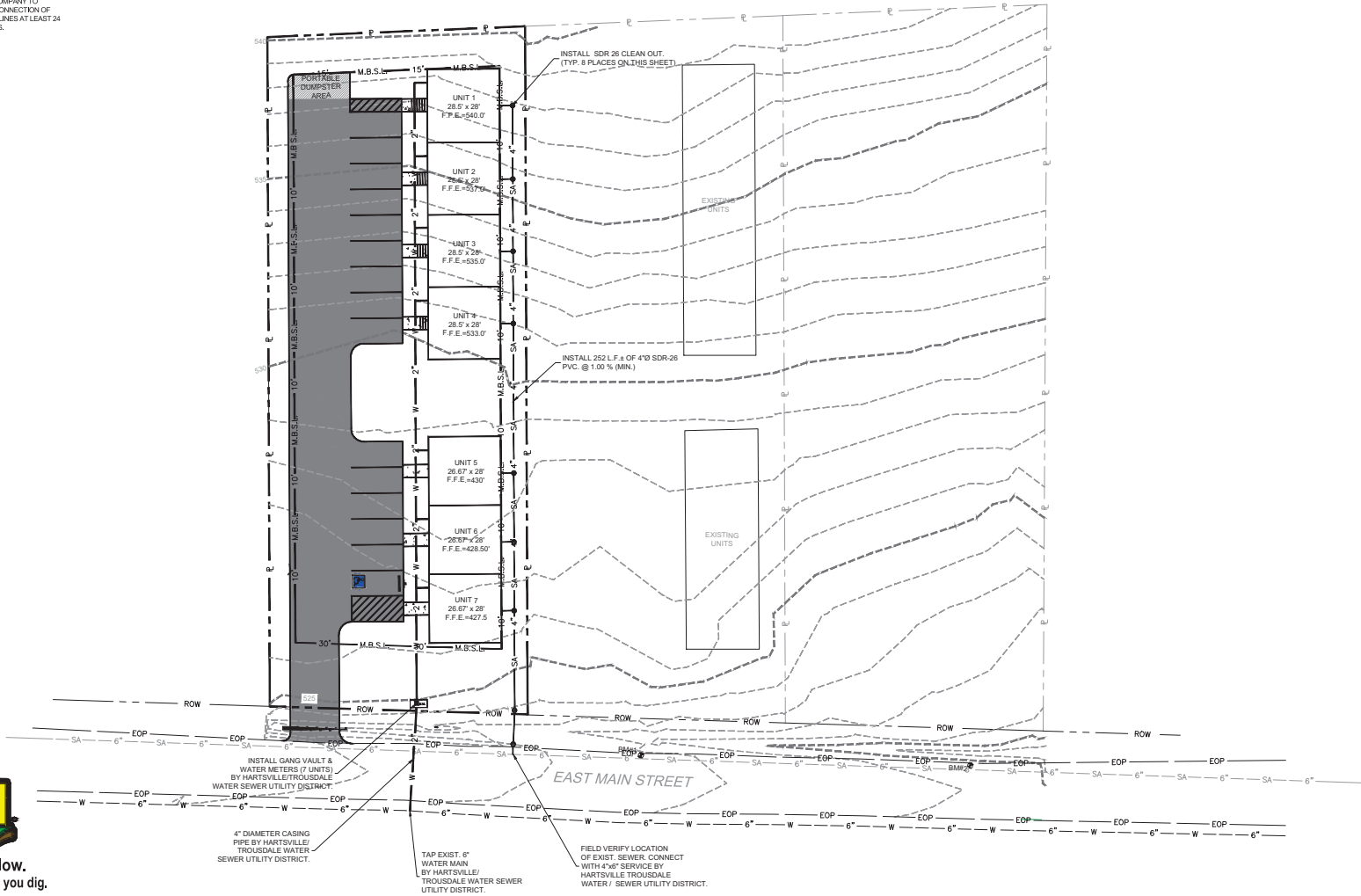
SITE LEGEND	
SYMBOL	DESCRIPTION
	EXISTING PROPERTY LINE
	EXISTING RIGHT-OF-WAY
	EXISTING EDGE OF PAVEMENT
	WATERLINE
	CENTERLINE
	WHITE LINE
	EXISTING IRON PIN

**NOTES:**

NO BENDS GREATER THAN 45 DEGREES ALLOWED

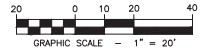
THE OWNER/DEVELOPER OF THIS PROPERTY IS RESPONSIBLE FOR ALL FINANCIAL MATTERS.

THE PROPERTY OWNER OR DEVELOPER MUST COORDINATE WITH THE LOCAL HARTSVILLE UTILITY COMPANY TO ARRANGE FOR THE REMOVAL AND DISCONNECTION OF UTILITY POLES AND OVERHEAD POWER LINES AT LEAST 24 HOURS BEFORE CONSTRUCTION BEGINS.



Know what's below.  
Call before you dig.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT UTILITY COMPANIES THREE WORKING DAYS PRIOR TO ANY CONSTRUCTION. THE LOCATION OF UTILITIES SHOWN IN THESE PLANS IS APPROXIMATE AND POSSIBLY INCOMPLETE.



NO.	DATE	DESCRIPTION	BY	CHK

**MID - TENN  
ENGINEERING CO.**  
604 BIRNWAY DR. CANTON, TN 37024  
LAW OFFICE: (615) 499-2616

**ROBERT POWERS**  
613 EAST MAIN STREET TOWNHOMES  
HARTSVILLE, TENNESSEE

**PROPOSED SITE  
UTILITIES PLAN**

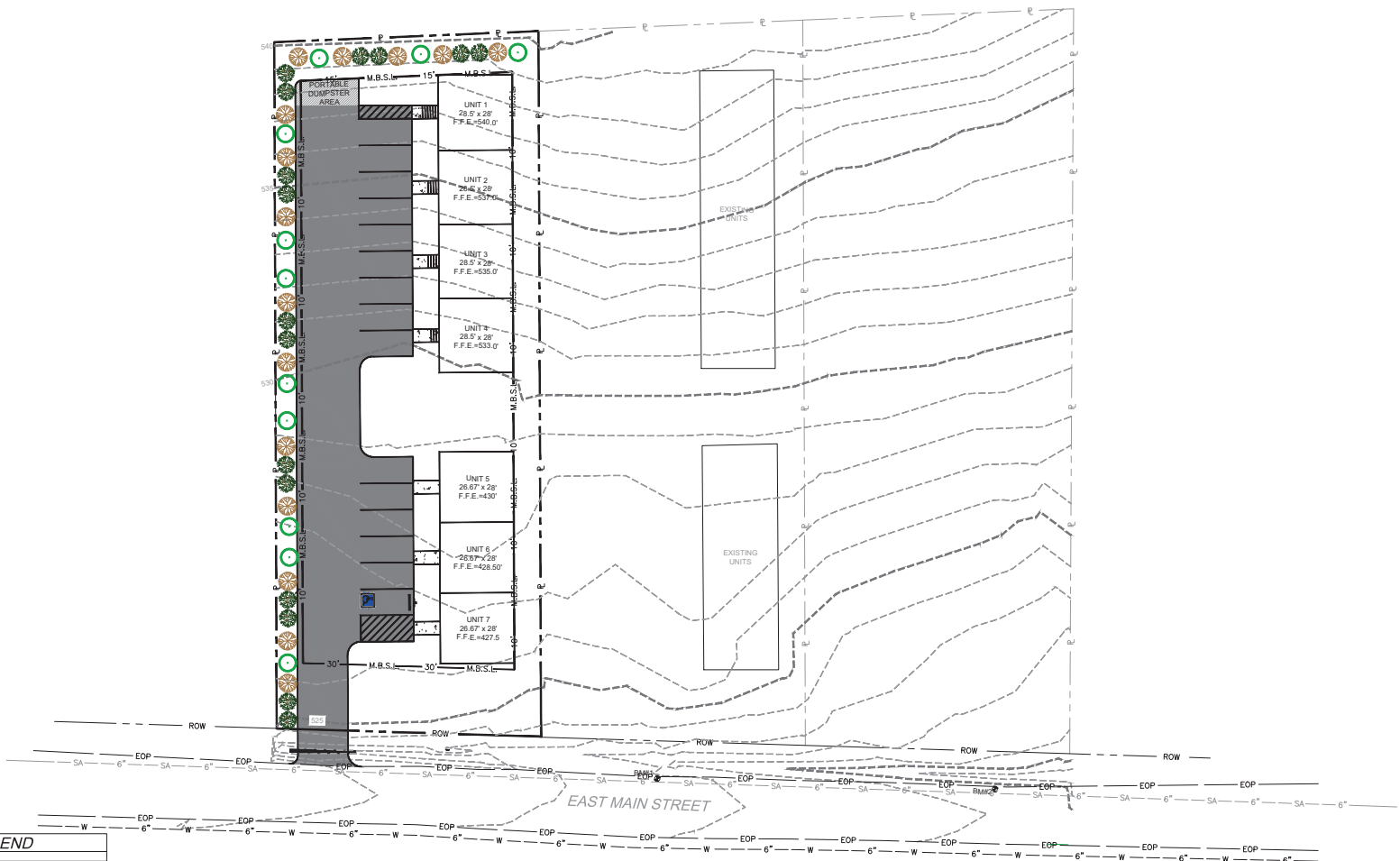


DESIGNED BY: J.D.C.  
DATE: 11-21-25  
PROJECT NO.: 859508

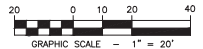
DRAWN BY: S.N.L.  
SCALE: 1" = 20'

SHEET: **C4**

PLANT SCHEDULE						
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	11	CUPRESSOCYPRIS	LEYLAND CYPRESS	B&B		6"-7" HT.
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING
	16	AZALEA ROBEIA	AUTUMN SWEETHEART	3 GAL	18" X 24"	4'-0"
	15	ILEX GLABRA 'SHAMROCK'	INKBERRY	3 GAL	18" X 24"	4'-0"



SITE LEGEND	
	EXISTING PROPERTY LINE
	EXISTING RIGHT-OF-WAY
	EXISTING EDGE OF PAVEMENT
	WATERLINE
	CENTERLINE
	WHITE LINE
	EXISTING IRON PIN



NO.	DATE	DESCRIPTION	BY	CHK

**MID - TENN**  
**ENGINEERING CO.**  
 604 BIRNWAY DR. SUITE 200  
 LAWRENCEVILLE, GA 30046

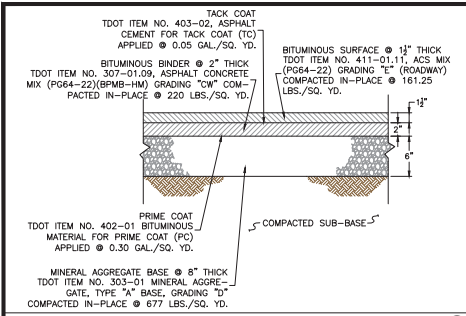
ROBERT POWERS  
 613 EAST MAIN STREET TOWNHOMES  
 HARTSVILLE, TENNESSEE

**PROPOSED  
 LANDSCAPING PLAN**

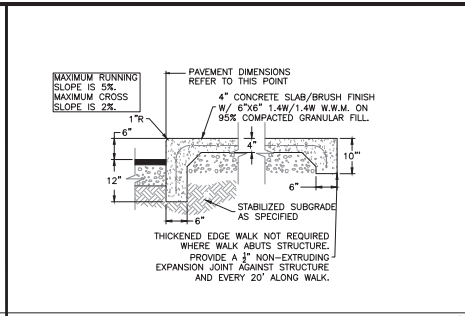


FOUNDER: J.C. JACOBS  
 DATE: 11-21-25  
 DRAWN BY: S.I.N.L.  
 CHECKED BY: S.I.N.L.  
 SCALE: 1" = 20'

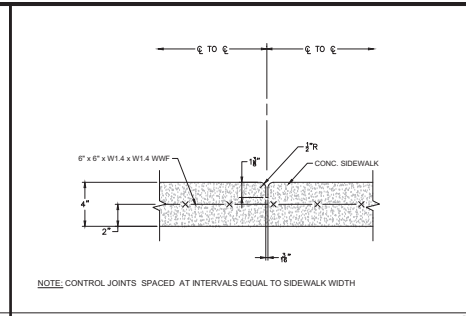
SHEET **C5**



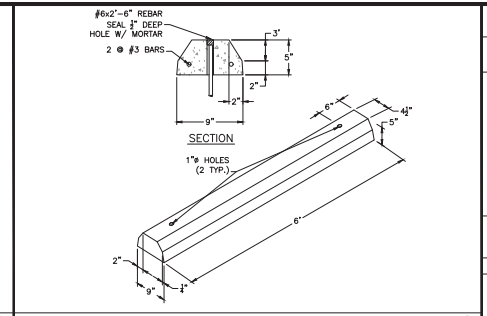
DETAIL ASPHALTIC PAVING SCALE: N.T.S. ①



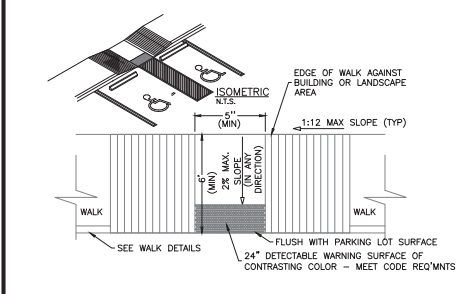
DETAIL BRUSHED CONCRETE SIDEWALK SCALE: N.T.S. ②



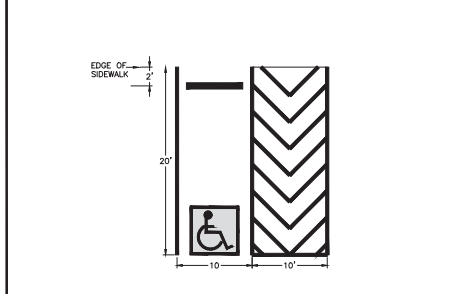
DETAIL SIDEWALK CONTROL JOINT SCALE: N.T.S. ③



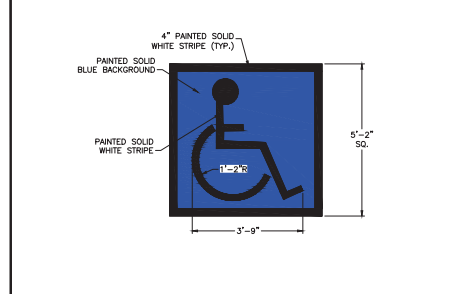
DETAIL PRE-CAST CONCRETE WHEEL STOP SCALE: N.T.S. ④



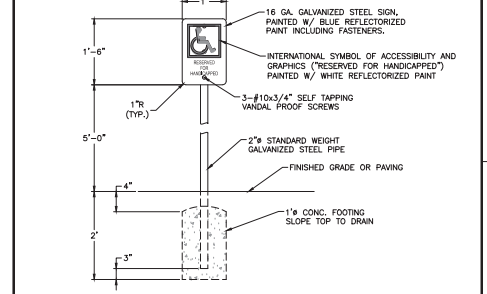
DETAIL ACCESSIBLE PARKING RAMP SCALE: N.T.S. ⑤



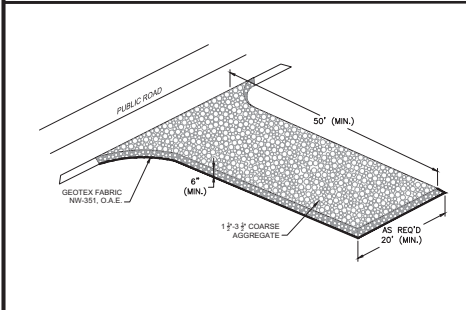
DETAIL HANDICAP PARKING LAYOUT SCALE: N.T.S. ⑥



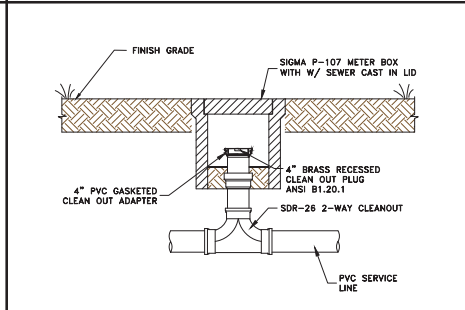
DETAIL HANDICAP PARKING SIGNAGE SCALE: N.T.S. ⑦



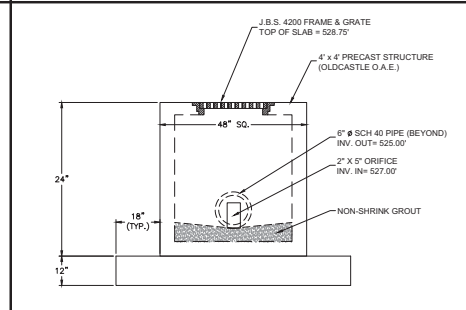
DETAIL HANDICAP PARKING SIGNAGE SCALE: N.T.S. ⑧



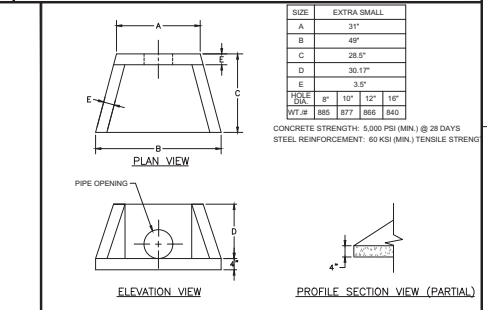
DETAIL TEMPORARY CONSTRUCTION ENTRANCE SCALE: N.T.S. ⑨



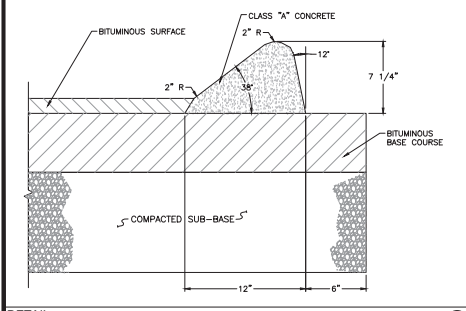
DETAIL TYPICAL NON-TRAFFIC CLEAN-OUT ASSEMBLY SCALE: N.T.S. ⑩



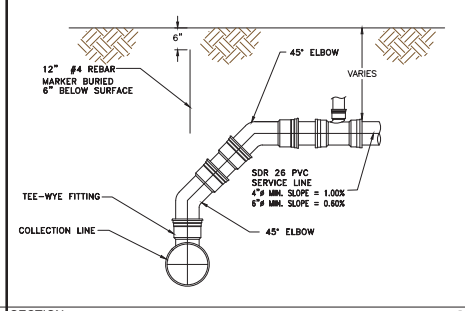
DETAIL OUTLET CONTROL STRUCTURE #1 SCALE: N.T.S. ⑪



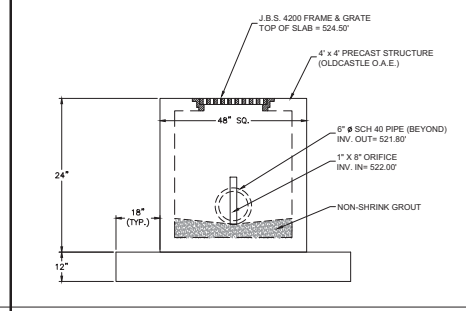
DETAIL STANDARD PRECAST HEADWALL SCALE: N.T.S. ⑫



DETAIL EXTRUDED 6" MOUNTABLE CONCRETE CURB SCALE: N.T.S. ⑬



SECTION INSTALLED GRAVITY SERVICE DETAIL SCALE: N.T.S. ⑭



DETAIL OUTLET CONTROL STRUCTURE #2 SCALE: N.T.S. ⑮

NO.	DATE	DESCRIPTION	BY	CHK.

MID - TENN  
ENGINEERING CO.  
645 HURLOCK ROAD  
LAUREL HURLOCK, TN 37050

ROBERT POWERS  
613 EAST MAIN STREET TOWNHOMES  
HARTSVILLE, TENNESSEE

STANDARD SITE DETAILS



NO.	DATE	DESCRIPTION	BY	CHK.

C6